
Lexus Pre-Owned at Walnut Street and Arsenal Street

Special Permit Application: 01.14.14

Project No. 13040

**121-125 Walnut Street and 298-314 Arsenal Street
Watertown, MA 02472**

Architect:



20 Chelmsford Street
Chelmsford, MA 01824

Client:

Arsenal View LLC
330 Arsenal Street
Watertown, MA 02472

SECTION 5.04 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE (s.f.)	NO REQUIREMENT	LOT A - 155,850 LOT A/D - 174,968 LOT B - 43,753 LOT C - 150,402	NO CHANGE
MINIMUM LOT FRONTAGE (FT.)	50'	LOT A - 423.06' LOT A/D - 423.06' LOT B - 621.03' LOT C - 620.42'	NO CHANGE
MINIMUM FRONT YARD (FT.)	20'	LOT A - 9.6' LOT A/D - 9.6' LOT B - 16.3' LOT C - 28.9'	NO CHANGE
MINIMUM SIDE YARD (FT.)	25'	LOT A - 0.0' LOT A/D - 0.0' LOT B - 20.8' LOT C - 25.6'	LOT A - NO CHANGE LOT A/D - NO CHANGE LOT B - 26.1' LOT C - NO CHANGE
MINIMUM REAR YARD (FT.)	30'	LOT A - 37.6' LOT A/D - 37.6' LOT B - 0.2' LOT C - 30.0'	NO CHANGE
MAXIMUM BUILDING COVERAGE (s.f./%)	50%	LOT A - 70,950/45.5 LOT A/D - 70,950/40.6 LOT B - 7,016/16.0 LOT C - 55,572/37.0	LOT A - NO CHANGE LOT A/D - NO CHANGE LOT B - 5,516/12.6 LOT C - NO CHANGE
MAXIMUM IMPERV. COVERAGE (s.f./%) ⁽¹⁾	90%	LOT A - 135,832/87.3 LOT A/D - 151,049/86.3 LOT B - 40,066/91.6 LOT C - 115,536/76.9	LOT A - 137,268/88.0 LOT A/D - 152,445/87.2 LOT B - 33,208/75.9 LOT C - 116,183/77.2
MAXIMUM HEIGHT (FT./STORIES)	50/5 STORIES	LOT A - MAX. 37.7/2 LOT B - 25/1 LOT C - 29.5/3	NO CHANGE
MAXIMUM FLOOR AREA RATIO	1.0	LOT A - 0.81 ⁽¹⁾ LOT A/D - 0.72 ⁽¹⁾ LOT B - 0.16 LOT C - 0.38	LOT A - 0.43 ⁽¹⁾ LOT A/D - 0.38 ⁽¹⁾ LOT B - 0.13 LOT C - NO CHANGE
MINIMUM OPEN SPACE (s.f./%) ⁽¹⁾	10%	LOT A - 20,018/12.7 LOT A/D - 23,919/13.7 LOT B - 3,687/8.4 LOT C - 34,766/23.1	LOT A - 18,582/12.0 LOT A/D - 22,483/12.8 LOT B - 10,545/24.1 LOT C - 34,219/22.8

- NOTES:
- SUBJECT PARCEL IS LOCATED IN AN I-3 (INDUSTRIAL 3) ZONING DISTRICT.
 - ALL DIMENSIONAL AND PARKING CRITERIA FOR PARCEL C BASED UPON RECORD PERMIT PLANS ENTITLED "LEXUS OF WATERTOWN, 314 ARSENAL STREET, 42 SCHOOL ST, 161-165, 173-175 WALNUT ST, WATERTOWN, MA 02472" PREPARED BY REGENT ASSOCIATES, INC. AND DATED 01/17/2003.
 - FAR CALCULATION BASED UPON GFA OF 126,405 S.F., OBTAINED FROM PERMIT PLAN ENTITLED "LAYOUT & MATERIALS PLAN, 125 WALNUT STREET, WATERTOWN, MA" PREPARED BY ADD INC. AND DATED 7/31/2002.
 - FAR CALCULATION BASED UPON GFA OF 66,494 S.F. (TOTAL FLOOR AREA MINUS VEHICLE DISPLAY/STORAGE & MECHANICAL AREAS)
 - THE BIKE PATH IS CONSIDERED AS OPEN SPACE IN THESE CALCULATIONS.

SECTION 6.07 BICYCLE PARKING NOTES:

- PROVIDE 1 BICYCLE SPACE (7'x2') FOR EVERY 15 AUTOMOBILE PARKING SPACES (SECT. 6.07(a)(1) OF WATERTOWN ZONING ORDINANCE).
436 AUTOMOBILE PARKING SPACES/15 = 29.1 BICYCLE SPACES REQUIRED

SECTION 6.01 PARKING CALCULATIONS
PROPOSED LEXUS PRE-OWNED FACILITY
(121-125 Walnut Street)

COMPONENT (Section 6.01 Category)	REQUIRED
SHOWROOM (AUTO SALES, DISPLAY, LEASING, AND RENTALS)	41.91 SPACES 25,143 s.f./600=41.91 spaces (1 space per 600 s.f. of space devoted to showrooms for customer use)
WAREHOUSE OR POTENTIAL OFFICE	25.55 SPACES 10,222 s.f./400=25.55 spaces (1 space per 400 s.f. of Gross Floor Area)
OFFICE (RETAIL SALES/SERVICE AND OFFICE)	56.56 SPACES <i>1st Floor</i> 8,508 s.f./350=18.86 spaces (1 space per 350 s.f. of Gross Floor Area) <i>2nd Floor</i> 12,408 s.f./400=31.02 spaces (1 space per 400 s.f. of Gross Floor Area) <i>MEZANINE</i> 2,672 s.f./400=6.68 spaces (1 space per 400 s.f. of Gross Floor Area)
INDUSTRIAL (INDUSTRIAL ... PUBLISHING)	26.47 SPACES 15,890 s.f./600=26.47 spaces (1 space per 600 s.f. of Gross Floor Area)
SUB TOTAL	150.49 SPACES REQUIRED

EXISTING AUTOMOBILE PREPARATION CENTER
(314 Arsenal Street)

(See Note 2 This Sheet)

COMPONENT (Section 6.01 Category)	REQUIRED
AUTOMOBILE PREPARATION FACILITY (AUTO REPAIR GARAGE, AND SIMILAR USES)	27.64 SPACES 5,528 s.f./200=27.64 spaces (1 space per 200 s.f. of Gross Floor Area)
SUB TOTAL	27.64 SPACES REQUIRED

EXISTING LEXUS DEALERSHIP
(330 Arsenal Street)

COMPONENT (Section 6.01 Category)	REQUIRED
SHOWROOM (AUTO SALES, DISPLAY, LEASING, AND RENTALS)	14.42 SPACES 8,654 s.f./600=14.42 spaces (1 space per 600 s.f. of space devoted to showrooms for customer use)
AUTO SERVICE AREA (AUTO REPAIR GARAGE, AND SIMILAR USES)	133.33 SPACES 26,666 s.f./200=133.33 spaces (1 space per 200 s.f. of Gross Floor Area)
OFFICE (RETAIL SALES/SERVICE AND OFFICE)	42.57 SPACES <i>1st Floor</i> 8,751 s.f. + 6,349 s.f./350=42.57 spaces (1 space per 350 s.f. of Gross Floor Area)
STORAGE (WAREHOUSE)	4.03 SPACES <i>1st Floor</i> 4,198 s.f. + 634 s.f./1,200=4.03 spaces (1 space per 1,200 s.f. of Gross Floor Area)
SUB TOTAL	194 SPACES REQUIRED
TOTAL	372 SPACES REQUIRED

PARKING PROVIDED

PROPOSED PARKING SPACES	PROVIDED
LOTS A, B & C PARKING LOTS	241 SPACES
LOT C DEALERSHIP GARAGE	137 SPACES
LOT D #101 WALNUT ST. PARKING LOT	58 SPACES
TOTAL	436 SPACES PROVIDED

121-125 WALNUT STREET

BUILDING CODE SUMMARY (780 CMR 8TH EDITION, INTERNATIONAL BUILDING CODE 2009 & INTERNATIONAL EXISTING BUILDING CODE 2009)

INTERNATIONAL EXISTING BUILDING CODE 2009

- EXISTING BUILDING CONSTRUCTION CLASSIFICATION: IIB
NUMBER OF FLOORS: 3
SPRINKLERS: YES
EXISTING USE GROUP: S-1, B
PROPOSED USE GROUP: S-1, B
REPAIRS (CHAPTER 5): N/A
ALTERATIONS - LEVEL ONE (CHAPTER 6): N/A
ALTERATIONS - LEVEL TWO (CHAPTER 7): COMPLIES
ALTERATIONS - LEVEL THREE (CHAPTER 8): N/A
CHANGE OF OCCUPANCY (CHAPTER 9)
CHANGE IN OCCUPANCY WITH NO CHANGE OF OCCUPANCY CLASSIFICATION (SECTION 901.2): N/A
REPAIR & ALTERATION WITH NO CHANGE OF OCCUPANCY CLASSIFICATION (SECTION 901.2.1): APPLIES
CHANGE IN OCCUPANCY CLASSIFICATION (SECTION 901.3): N/A
CHANGE OF OCCUPANCY CLASSIFICATION WITHOUT SEPARATION (SECTION 912.1.1.1): N/A
CHANGE OF OCCUPANCY CLASSIFICATION WITH SEPARATION (SECTION 912.1.1.2): N/A
MEANS OF EGRESS (SECTION 912.4): COMPLIES
HEIGHT AND AREAS (SECTION 912.5): N/A
EXTERIOR WALL FIRE-RESISTANCE RATINGS (SECTION 912.6): N/A
ENCLOSURE OF VERTICAL SHAFTS (SECTION 912.7): N/A
ADDITIONS (CHAPTER 10): N/A
(HISTORIC BUILDINGS (CHAPTER 11): N/A
RELOCATED OR MOVED BUILDINGS (CHAPTER 12): N/A

298-314 ARSENAL STREET

BUILDING CODE SUMMARY (780 CMR 8TH EDITION, INTERNATIONAL BUILDING CODE 2009 & INTERNATIONAL EXISTING BUILDING CODE 2009)

INTERNATIONAL EXISTING BUILDING CODE 2009

- EXISTING BUILDING CONSTRUCTION CLASSIFICATION: IIB
NUMBER OF FLOORS: 2
SPRINKLERS: YES
EXISTING USE GROUP: S-1, B
PROPOSED USE GROUP: S-1, B
REPAIRS (CHAPTER 5): N/A
ALTERATIONS - LEVEL ONE (CHAPTER 6): N/A
ALTERATIONS - LEVEL TWO (CHAPTER 7): COMPLIES
ALTERATIONS - LEVEL THREE (CHAPTER 8): N/A
CHANGE OF OCCUPANCY (CHAPTER 9)
CHANGE IN OCCUPANCY WITH NO CHANGE OF OCCUPANCY CLASSIFICATION (SECTION 901.2): N/A
REPAIR & ALTERATION WITH NO CHANGE OF OCCUPANCY CLASSIFICATION (SECTION 901.2.1): APPLIES
CHANGE IN OCCUPANCY CLASSIFICATION (SECTION 901.3): N/A
CHANGE OF OCCUPANCY CLASSIFICATION WITHOUT SEPARATION (SECTION 912.1.1.1): N/A
CHANGE OF OCCUPANCY CLASSIFICATION WITH SEPARATION (SECTION 912.1.1.2): N/A
MEANS OF EGRESS (SECTION 912.4): COMPLIES
HEIGHT AND AREAS (SECTION 912.5): N/A
EXTERIOR WALL FIRE-RESISTANCE RATINGS (SECTION 912.6): N/A
ENCLOSURE OF VERTICAL SHAFTS (SECTION 912.7): N/A
ADDITIONS (CHAPTER 10): N/A
(HISTORIC BUILDINGS (CHAPTER 11): N/A
RELOCATED OR MOVED BUILDINGS (CHAPTER 12): N/A

PROJECT DESCRIPTION

THE LEXUS OF WATERTOWN PRE-OWNED VEHICLE PROJECT INCLUDES IMPROVEMENTS ACROSS TWO PARCELS, THE PROPERTY AT 121 - 125 WALNUT STREET AND THE PROPERTIES 298 - 314 ARSENAL STREET. THE EXISTING STRUCTURE AT 125 WALNUT STREET IS INTENDED TO BECOME THE NEW LEXUS PRE-OWNED SALES SHOWROOM AND RECEIVE MINIMAL EXTERIOR MODIFICATIONS WHILE THE EXISTING PRE-OWNED BUILDING ON THE 298-314 ARSENAL STREET SITE IS TO BE DEMOLISHED IN ITS ENTIRETY. THE EXISTING AUTOMOTIVE DETAILING BUILDING ON THE 298-314 ARSENAL STREET SITE WILL REMAIN WITH BUILDING ENVELOPE IMPROVEMENTS ALONG THE ARSENAL STREET CORRIDOR. THERE IS NO INCREASE TO BUILDING FOOT PRINTS OR SQUARE FOOTAGE AS PART OF THIS PROJECT.

A GENERAL REWORK OF BOTH SITES IS INTENDED TO ALLOW FOR THE NEW LEXUS PRE-OWNED PORTION OF THE 125 WALNUT STREET BUILDING TO HAVE A MORE PROMINENT RETAIL APPEARANCE AS WELL AS VEHICULAR/PEDESTRIAN ACCESS ALONG THE PORTION OF SITE ADJACENT TO ARSENAL STREET. A NEW PARKING CONFIGURATION ALONG ARSENAL STREET IS A SIGNIFICANT FEATURE OF THE PROJECT ALLOWING FOR THE CLOSING OF A PORTION OF THE EXISTING CURB CUTS. AN INCREASE OF OPEN SPACE/LANDSCAPING THROUGHOUT THE SITE, AS WELL AS THE EXTENSION OF THE ARSENAL STREET BIKE PATH ALONG THE ENTIRE FRONTAGE OF THE 298 - 314 ARSENAL STREET SITE. THERE IS NO REWORK OF THE PORTION OF THE SITE ALONG WALNUT STREET WITH THE EXCEPTION OF UPGRADES TO SOME OF THE PLANTINGS.

Key Plan:

Architect's Stamp:

DRAWING LIST

- GENERAL
G.000 COVER SHEET
G.001 GENERAL INFORMATION
- SITE PLAN / PLOT PLAN
H-1 EXISTING CONDITIONS PLAN
H-2 SITE LAYOUT PLAN
H-3 ZONING COMPLIANCE PLAN
- CIVIL
C-1 DEMOLITION PLAN
C-2 GRADING & DRAINAGE PLAN
- ARCHITECTURAL
B1-X-101 FIRST FLOOR EXISTING CONDITIONS PLAN
B1-X-102 SECOND FLOOR EXISTING CONDITIONS PLAN
B1-X-103 THIRD FLOOR EXISTING CONDITIONS PLAN
B1-X-104 EXISTING ELEVATIONS
B1-A-101 FIRST FLOOR PLAN
B1-A-102 SECOND FLOOR PLAN
B1-A-103 THIRD FLOOR PLAN
B1-A-111 PARTIAL FIRST FLOOR PLAN - MATCHLINE A
B1-A-121 PARTIAL SECOND FLOOR PLAN - MATCHLINE A
B1-A-201 EXTERIOR ELEVATIONS
B2-X-101 EXISTING CONDITIONS FIRST FLOOR PLAN
B2-X-201 EXISTING ELEVATIONS
B2-A-101 FIRST FLOOR PLAN
B2-A-201 ELEVATIONS
- LANDSCAPING
L-1 PLANTING PLAN
- RENDERINGS
AA-1 EXISTING CONDITIONS
AA-2 WALNUT STREET SOUTH ELEVATION
AA-3 WALNUT STREET EAST ELEVATION
AA-4 ARSENAL STREET SOUTH ELEVATION
Grand total: 26

Project:
Lexus Pre-Owned at Walnut Street and Arsenal Street
121-125 Walnut Street and 298-314 Arsenal Street
Watertown, MA 02472

Client:
Arsenal View LLC
330 Arsenal Street
Watertown, MA 02472
(617) 393-1000



Project #: 13040

Scale: As Noted

Issue: _____ Date: _____

Special Permit Application 01.14.14

Revisions: _____ Date: _____

Drawing Title:
GENERAL INFORMATION

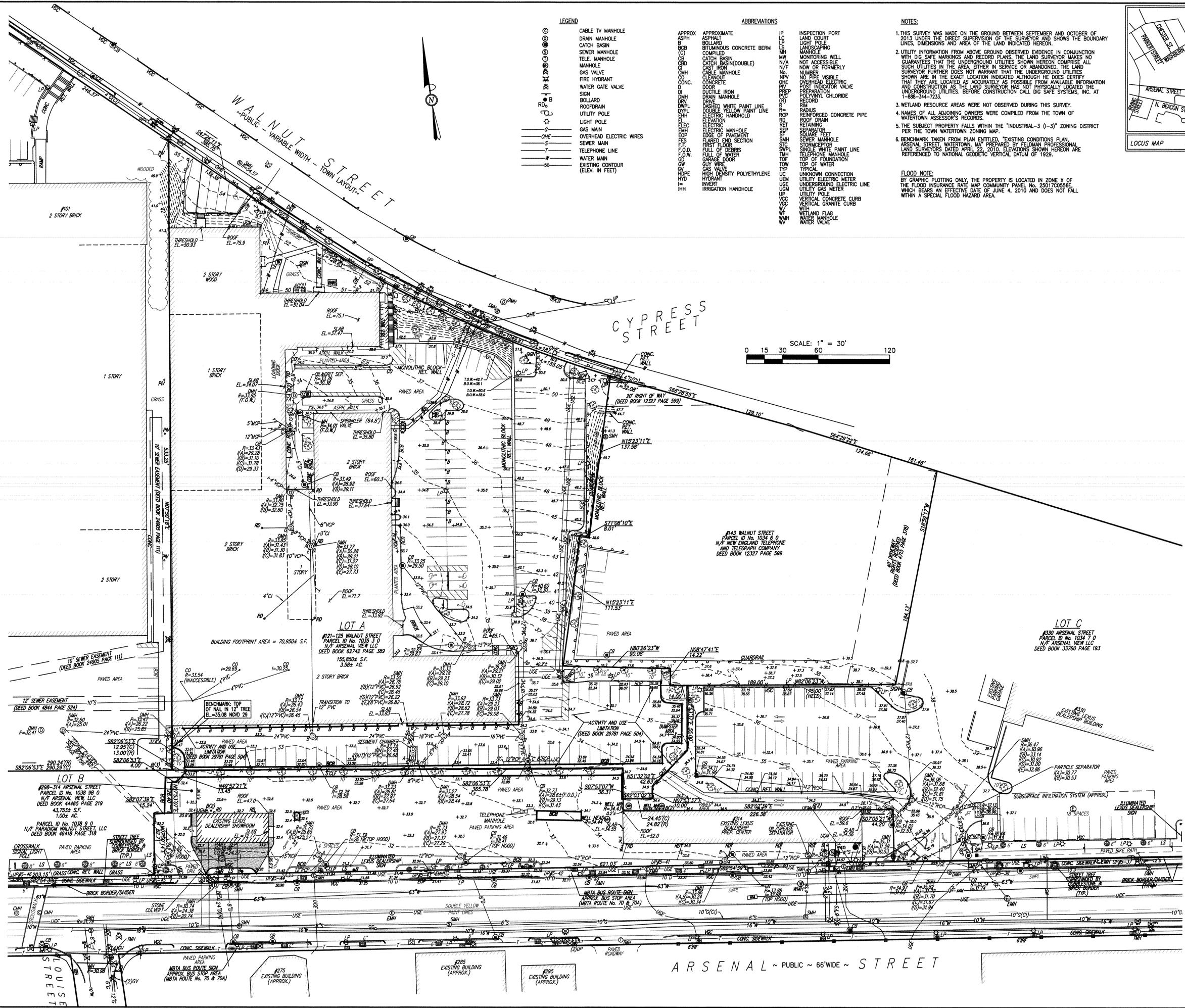
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ahp ARCHITECTS
CREATIVE THINKING

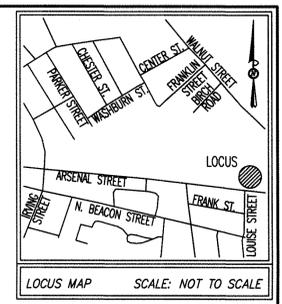
20 Chelmsford Street, Chelmsford, MA 01824
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www.ahparchitects.com

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LEGEND		ABBREVIATIONS	
⊙	CABLE TV MANHOLE	APPROX	APPROXIMATE
⊙	DRAIN MANHOLE	ASPH	ASPHALT
⊙	CATCH BASIN	BCB	BITUMINOUS CONCRETE BERM
⊙	SEWER MANHOLE	CB	COMPILED
⊙	TELE MANHOLE	CB	CATCH BASIN (DOUBLE)
⊙	MANHOLE	CI	CAST IRON
⊙	GAS VALVE	CMH	CABLE MANHOLE
⊙	FIRE HYDRANT	CONC	CONCRETE
⊙	WATER GATE VALVE	CONC	CONCRETE
⊙	SIGN	DMH	DUCTILE IRON
⊙	BOLLARD	DR	DRIVE
⊙	ROOF DRAIN	DYPL	DOUBLE YELLOW PAINT LINE
⊙	UTILITY POLE	EHH	ELECTRIC HANDHOLD
⊙	LIGHT POLE	EL	ELEVATION
⊙	GAS MAIN	ELEC	ELECTRIC
⊙	OVERHEAD ELECTRIC WIRES	EMH	ELECTRIC MANHOLE
⊙	SEWER MAIN	EDG	EDGE OF PAVEMENT
⊙	TELEPHONE LINE	ESP	SEWER MANHOLE
⊙	WATER MAIN	FPS	FIRST FLOOR SECTION
⊙	EXISTING CONTOUR (ELEV. IN FEET)	F.O.D.	FULL OF DEBRIS
		F.O.W.	FULL OF WATER
		GW	GARAGE DOOR
		HW	HIGH DENSITY POLYETHYLENE
		HYD	HYDRANT
		INVERT	INVERT
		IRRH	IRRIGATION HANDHOLE
		IP	INSPECTION PORT
		LC	LAND COURT
		LP	LANDSCAPING
		LS	LANDSCAPING
		MH	MANHOLE
		MW	MONITORING WELL
		N/A	NOT ACCESSIBLE
		N/F	NOT FOUND
		NO	NUMBER
		NPV	NO PIPE VISIBLE
		OPV	OVERHEAD ELECTRIC
		PIV	POST INDICATOR VALVE
		PPCP	POLYPROPYLENE
		PVC	POLYVINYL CHLORIDE
		R	RADIUS
		RCP	REINFORCED CONCRETE PIPE
		RD	ROOF DRAIN
		RET	RETAINING
		SEP	SEPARATOR
		SMH	SQUARE FEET
		SP	SEWER MANHOLE
		STC	STORMCEPTOR
		SWPL	SINGLE WHITE PAINT LINE
		TMH	TELEPHONE MANHOLE
		TOP	TOP OF FOUNDATION
		TOW	TOP OF WATER
		TP	TYPICAL
		UC	UNKNOWN CONNECTION
		UEM	UTILITY ELECTRIC METER
		USE	UNDERGROUND ELECTRIC LINE
		UP	UTILITY POLE
		VCC	VERTICAL CONCRETE CURB
		W	WITH
		WFL	WETLAND FLAG
		WV	WATER VALVE

- NOTES:**
1. THIS SURVEY WAS MADE ON THE GROUND BETWEEN SEPTEMBER AND OCTOBER OF 2013 UNDER THE DIRECT SUPERVISION OF THE SURVEYOR AND SHOWS THE BOUNDARY LINES, DIMENSIONS AND AREA OF THE LAND INDICATED HEREON.
 2. UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS, THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION AND CONSTRUCTION AS THE LAND SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.
 3. WETLAND RESOURCE AREAS WERE NOT OBSERVED DURING THIS SURVEY.
 4. NAMES OF ALL ADJOINING OWNERS WERE COMPILED FROM THE TOWN OF WATERTOWN ASSESSOR'S RECORDS.
 5. THE SUBJECT PROPERTY FALLS WITHIN THE "INDUSTRIAL-3 (1-3)" ZONING DISTRICT PER THE TOWN OF WATERTOWN ZONING MAP.
 6. BENCHMARK TAKEN FROM PLAN ENTITLED, "EXISTING CONDITIONS PLAN, ARSENAL STREET, WATERTOWN, MA" PREPARED BY FELDMAN PROFESSIONAL LAND SURVEYORS DATED APRIL 22, 2010. ELEVATIONS SHOWN HEREON ARE REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- FLOOD NOTE:**
BY GRAPHIC PLOTTING ONLY, THE PROPERTY IS LOCATED IN ZONE X OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 25017C0558E, WHICH BEARS AN EFFECTIVE DATE OF JUNE 4, 2010 AND DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA.



APP	
BY	
DESCRIPTION	
DATE	
REV	

180 LONGWATER DRIVE
SUITE 101
WATERTOWN, MA 02154
PHONE: (617) 792-5900
FACSIMILE: (617) 792-0383

McKenzie Engineering Group, Inc.
PROFESSIONAL CIVIL ENGINEERING AND LAND SURVEYING

PREPARED BY:
IVL

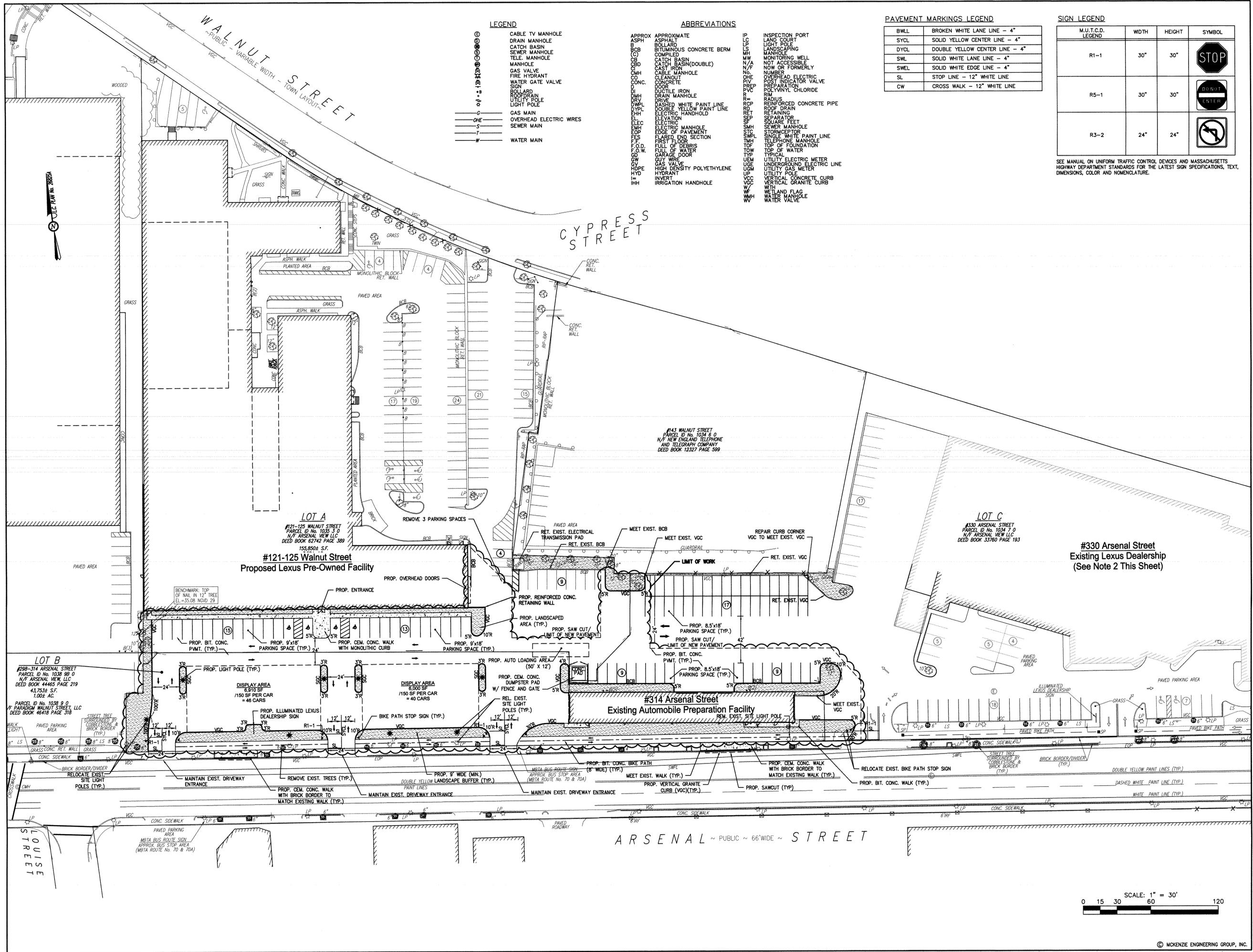
EXISTING CONDITIONS PLAN
121-125 & 143 WALNUT STREET
298-214 & 330 ARSENAL STREET
ASSESSORS PARCEL ID Nos. 1035.3.0, 1034.6.0, 1039.9B.0, 1034.7.0
WATERTOWN, MASSACHUSETTS

REGISTERED PROFESSIONAL LAND SURVEYOR:

PREPARED FOR:
Arsenal View, LLC
330 Arsenal Street
Watertown, MA 02472

NOT FOR CONSTRUCTION

DRAWN BY: BKL
DESIGNED BY: BKL
CHECKED BY: JPT
APPROVED BY: JPT
DATE: 01/14/2014
SCALE: 1" = 30'
PROJECT NO.: 213-164
DWG. TITLE: Existing Conditions Plan
DWG. No.: H-1



LEGEND

- CABLE TV MANHOLE
- DRAIN MANHOLE
- SEWER MANHOLE
- TELE. MANHOLE
- MANHOLE
- GAS VALVE
- FIRE HYDRANT
- WATER GATE VALVE
- BOLLARD
- ROOF DRAIN
- UTILITY POLE
- LIGHT POLE
- GAS MAIN
- OVERHEAD ELECTRIC WIRES
- SEWER MAIN
- WATER MAIN

ABBREVIATIONS

- APPROX APPROXIMATE
- ASPH ASPHALT
- BCB BITUMINOUS CONCRETE BERM
- COM COMPLETED
- CB CATCH BASIN
- CCB CATCH BASIN (DOUBLE)
- CI CAST IRON
- CMH CEMENT MANHOLE
- CONC CONCRETE
- DOOR DOOR
- DI DUCTILE IRON
- DMH DRAIN MANHOLE
- DRV DRIVE
- DYPL DASHED WHITE PAINT LINE
- DYPL DOUBLE YELLOW PAINT LINE
- EHH ELECTRIC HANDHOLD
- ELEC ELECTRIC
- ELEV ELEVATION
- EMH ELECTRIC MANHOLE
- EOP EDGE OF PAVEMENT
- FIS FLARED END SECTION
- FOP FIRST FLOOR
- F.D.D. FULL OF DEBRIS
- F.W. FULL OF WATER
- GD GARAGE DOOR
- GUY GUY WIRE
- HOPE GAS VALVE
- HYD HIGH DENSITY POLYETHYLENE
- HYD HYDRANT
- INV INVERT
- IH IRRIGATION HANDHOLD

PAVEMENT MARKINGS LEGEND

BWLL	BROKEN WHITE LANE LINE - 4"
SYCL	SOLID YELLOW CENTER LINE - 4"
DYCL	DOUBLE YELLOW CENTER LINE - 4"
SWL	SOLID WHITE LANE LINE - 4"
SWEL	SOLID WHITE EDGE LINE - 4"
SL	STOP LINE - 12" WHITE LINE
CW	CROSS WALK - 12" WHITE LINE

SIGN LEGEND

M.U.T.C.D. LEGEND	WIDTH	HEIGHT	SYMBOL
R1-1	30"	30"	STOP
R5-1	30"	30"	DO NOT ENTER
R3-2	24"	24"	NO LEFT TURN

SEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND MASSACHUSETTS HIGHWAY DEPARTMENT STANDARDS FOR THE LATEST SIGN SPECIFICATIONS, TEXT, DIMENSIONS, COLOR AND NOMENCLATURE.

APP									
BY									
DESCRIPTION									
DATE									
REV									

McKenzie Engineering Group, Inc.

180 LONGWATER DRIVE
NORWELL, MA 01961
PHONE: (781) 782-3800
FACSIMILE: (781) 782-0833

LEXUS OF WATERTOWN

121-125 WALNUT STREET &
314 & 330 ARSENAL STREET
WATERTOWN, MASSACHUSETTS

PROFESSIONAL ENGINEER:

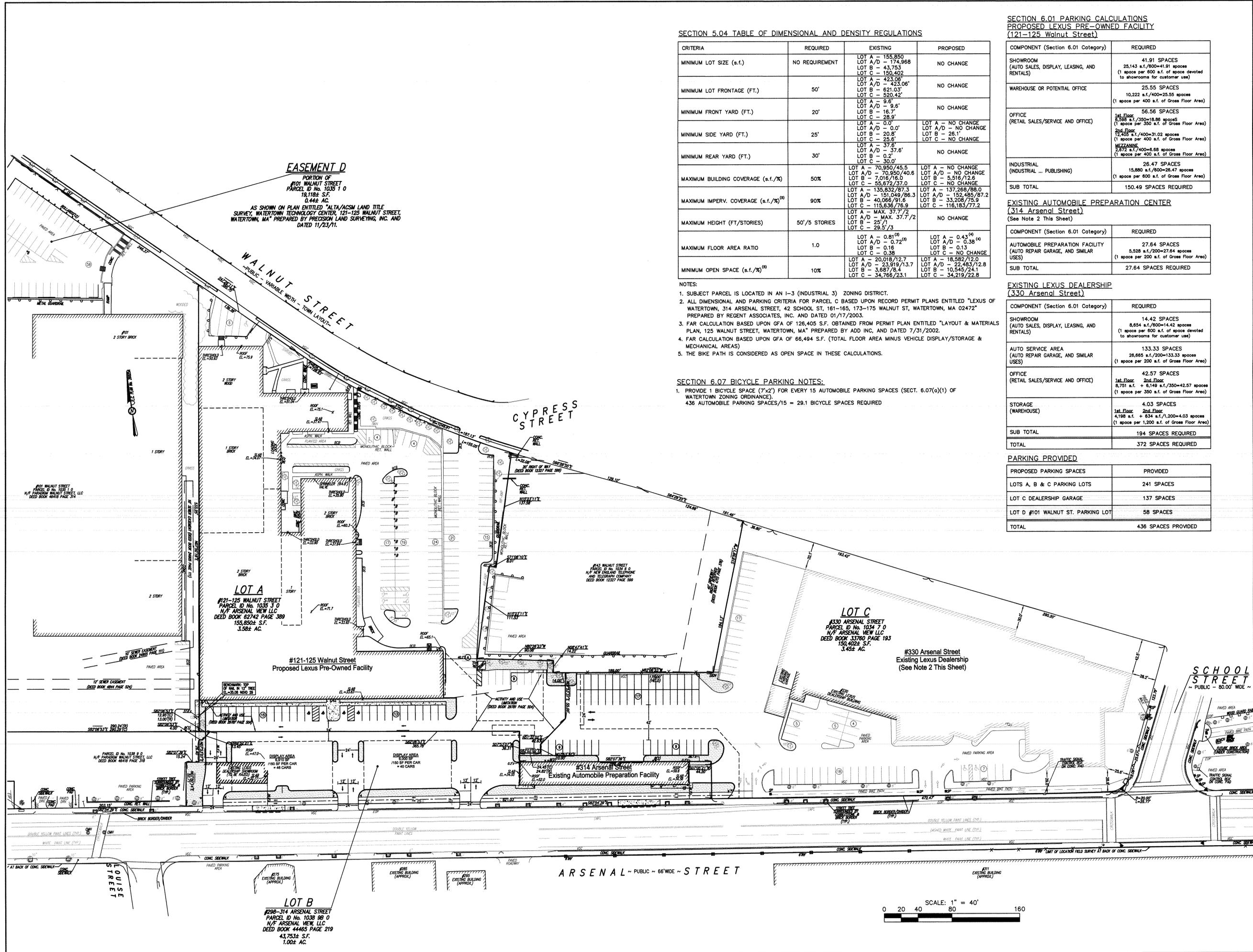
NOT FOR CONSTRUCTION

OWNER/APPLICANT:
Arsenal View, LLC
330 Arsenal Street
Watertown, Massachusetts 02472

DRAWN BY: SPH
DESIGNED BY: BCM
CHECKED BY: BCM
APPROVED BY: BCM

DATE: 01/14/2014
SCALE: 1" = 30'
PROJECT NO.: 213-164
DWG. TITLE: Site Layout Plan

DWG. No: **H-2**



SECTION 5.04 TABLE OF DIMENSIONAL AND DENSITY REGULATIONS

CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE (s.f.)	NO REQUIREMENT	LOT A - 155,850 LOT B - 43,753 LOT C - 150,402	NO CHANGE
MINIMUM LOT FRONTAGE (FT.)	50'	LOT A - 423.06' LOT B - 621.03' LOT C - 520.42'	NO CHANGE
MINIMUM FRONT YARD (FT.)	20'	LOT A - 9.6' LOT B - 16.7' LOT C - 28.9'	NO CHANGE
MINIMUM SIDE YARD (FT.)	25'	LOT A - 0.0' LOT B - 20.8' LOT C - 25.6'	LOT A - NO CHANGE LOT B - 26.1' LOT C - NO CHANGE
MINIMUM REAR YARD (FT.)	30'	LOT A - 37.6' LOT B - 0.2' LOT C - 30.0'	NO CHANGE
MAXIMUM BUILDING COVERAGE (s.f./%)	50%	LOT A - 70,950/45.5 LOT B - 7,016/16.0 LOT C - 55,972/37.0	LOT A - NO CHANGE LOT B - NO CHANGE LOT C - NO CHANGE
MAXIMUM IMPERV. COVERAGE (s.f./%) ^(a)	90%	LOT A - 135,832/87.3 LOT B - 40,066/91.6 LOT C - 115,536/76.9	LOT A - 137,268/88.0 LOT B - 152,485/87.2 LOT C - 33,208/75.9 LOT C - 116,183/77.2
MAXIMUM HEIGHT (FT./STORIES)	50'/5 STORIES	LOT A - MAX. 37.7/2 LOT B - 25'/1 LOT C - 29.5/3	NO CHANGE
MAXIMUM FLOOR AREA RATIO	1.0	LOT A - 0.81 ^(b) LOT B - 0.16 LOT C - 0.38	LOT A - 0.43 ^(d) LOT B - 0.13 LOT C - NO CHANGE
MINIMUM OPEN SPACE (s.f./%) ^(c)	10%	LOT A - 20,018/12.7 LOT B - 3,687/8.4 LOT C - 34,786/23.1	LOT A - 18,582/12.0 LOT B - 10,545/24.1 LOT C - 34,219/22.8

NOTES:

- SUBJECT PARCEL IS LOCATED IN AN I-3 (INDUSTRIAL 3) ZONING DISTRICT.
- ALL DIMENSIONAL AND PARKING CRITERIA FOR PARCEL C BASED UPON RECORD PERMIT PLANS ENTITLED "LEXUS OF WATERTOWN, 314 ARSENAL STREET, 42 SCHOOL ST, 161-165, 173-175 WALNUT ST, WATERTOWN, MA 02472" PREPARED BY REGENT ASSOCIATES, INC. AND DATED 01/17/2003.
- FAR CALCULATION BASED UPON GFA OF 126,405 S.F. OBTAINED FROM PERMIT PLAN ENTITLED "LAYOUT & MATERIALS PLAN, 125 WALNUT STREET, WATERTOWN, MA" PREPARED BY ADD INC. AND DATED 7/31/2002.
- FAR CALCULATION BASED UPON GFA OF 66,494 S.F. (TOTAL FLOOR AREA MINUS VEHICLE DISPLAY/STORAGE & MECHANICAL AREAS)
- THE BIKE PATH IS CONSIDERED AS OPEN SPACE IN THESE CALCULATIONS.

SECTION 6.07 BICYCLE PARKING NOTES:

- PROVIDE 1 BICYCLE SPACE (7'x2') FOR EVERY 15 AUTOMOBILE PARKING SPACES (SECT. 6.07(o)(1) OF WATERTOWN ZONING ORDINANCE).
436 AUTOMOBILE PARKING SPACES/15 = 29.1 BICYCLE SPACES REQUIRED

SECTION 6.01 PARKING CALCULATIONS
PROPOSED LEXUS PRE-OWNED FACILITY
(121-125 Walnut Street)

COMPONENT (Section 6.01 Category)	REQUIRED
SHOWROOM (AUTO SALES, DISPLAY, LEASING, AND RENTALS)	41.91 SPACES 25,143 s.f./600=41.91 spaces (1 space per 600 s.f. of space devoted to showrooms for customer use)
WAREHOUSE OR POTENTIAL OFFICE	25.55 SPACES 10,222 s.f./400=25.55 spaces (1 space per 400 s.f. of Gross Floor Area)
OFFICE (RETAIL SALES/SERVICE AND OFFICE)	56.56 SPACES 1st Floor: 6,598 s.f./350=18.86 spaces (1 space per 350 s.f. of Gross Floor Area) 2nd Floor: 14,400 s.f./400=36.00 spaces (1 space per 400 s.f. of Gross Floor Area) MEZANINE: 2,972 s.f./400=7.43 spaces (1 space per 400 s.f. of Gross Floor Area)
INDUSTRIAL (INDUSTRIAL ... PUBLISHING)	26.47 SPACES 15,880 s.f./600=26.47 spaces (1 space per 600 s.f. of Gross Floor Area)
SUB TOTAL	150.49 SPACES REQUIRED

EXISTING AUTOMOBILE PREPARATION CENTER
(314 Arsenal Street)
(See Note 2 This Sheet)

COMPONENT (Section 6.01 Category)	REQUIRED
AUTOMOBILE PREPARATION FACILITY (AUTO REPAIR GARAGE, AND SIMILAR USES)	27.64 SPACES 5,559 s.f./200=27.84 spaces (1 space per 200 s.f. of Gross Floor Area)
SUB TOTAL	27.64 SPACES REQUIRED

EXISTING LEXUS DEALERSHIP
(330 Arsenal Street)

COMPONENT (Section 6.01 Category)	REQUIRED
SHOWROOM (AUTO SALES, DISPLAY, LEASING, AND RENTALS)	14.42 SPACES 8,654 s.f./600=14.42 spaces (1 space per 600 s.f. of space devoted to showrooms for customer use)
AUTO SERVICE AREA (AUTO REPAIR GARAGE, AND SIMILAR USES)	133.33 SPACES 26,665 s.f./200=133.33 spaces (1 space per 200 s.f. of Gross Floor Area)
OFFICE (RETAIL SALES/SERVICE AND OFFICE)	42.57 SPACES 1st Floor: 8,751 s.f. + 6,149 s.f./350=42.57 spaces (1 space per 350 s.f. of Gross Floor Area)
STORAGE (WAREHOUSE)	4.03 SPACES 1st Floor: 4,198 s.f. + 634 s.f./1,200=4.03 spaces (1 space per 1,200 s.f. of Gross Floor Area)
SUB TOTAL	194 SPACES REQUIRED
TOTAL	372 SPACES REQUIRED

PARKING PROVIDED

PROPOSED PARKING SPACES	PROVIDED
LOTS A, B & C PARKING LOTS	241 SPACES
LOT C DEALERSHIP GARAGE	137 SPACES
LOT D #101 WALNUT ST. PARKING LOT	58 SPACES
TOTAL	436 SPACES PROVIDED

APR BY: []

DESCRIPTION: []

DATE: []

REV: []

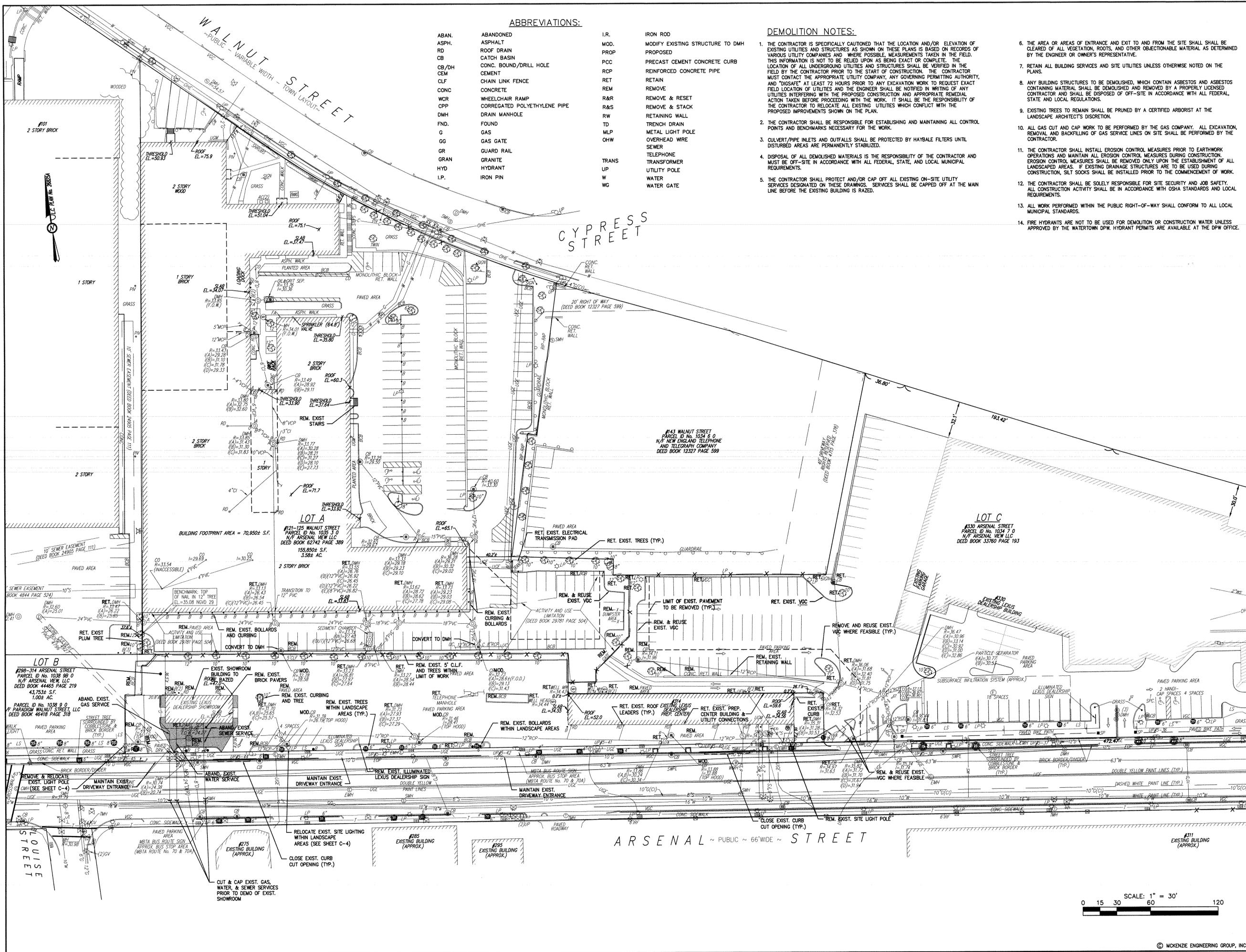
PREPARED BY: **McKenzie Engineering Group, Inc.**
150 LONGWATER DRIVE
SUITE 101
WATERTOWN, MA 02472
FACSIMILE: (781) 782-0333

REGISTERED PROFESSIONAL LAND SURVEYOR:
[Seal]

PREPARED FOR: **Lexus of Watertown**
121-125 Walnut Street &
314 & 330 Arsenal Street
WATERTOWN, MASSACHUSETTS

DESIGNED BY: SPH/DWK
CHECKED BY: BCM
APPROVED BY: BCM
DATE: 01/14/2014
SCALE: 1"=40'
PROJECT NO.: 213-164
DWG. TITLE: Zoning Compliance Plan
DWG. No.: **H-3**

NOT FOR CONSTRUCTION



ABBREVIATIONS:

ABAN.	ABANDONED	I.R.	IRON ROD
ASPH.	ASPHALT	MOD.	MODIFY EXISTING STRUCTURE TO
RD	ROOF DRAIN	PROP	PROPOSED
CB	CATCH BASIN	PCC	PRECAST CEMENT CONCRETE CURB
CB/DH	CONC. BOUND/DRILL HOLE	RCP	REINFORCED CONCRETE PIPE
CEM	CEMENT	RET	RETAIN
CLF	CHAIN LINK FENCE	REM	REMOVE
CONC	CONCRETE	R&R	REMOVE & RESET
WCR	WHEELCHAIR RAMP	R&S	REMOVE & STACK
CPP	CORRUGATED POLYETHYLENE PIPE	RW	RETAINING WALL
DMH	DRAIN MANHOLE	TD	TRENCH DRAIN
FND.	FOUND	MLP	METAL LIGHT POLE
G	GAS	OHW	OVERHEAD WIRE
GG	GAS GATE	TRANS	TELEPHONE TRANSFORMER
GR	GUARD RAIL	UP	UTILITY POLE
GRAN	GRANITE	W	WATER
HYD	HYDRANT	WG	WATER GATE
I.P.	IRON PIN		

DEMOLITION NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY HAYBALE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES DESIGNATED ON THESE DRAWINGS. SERVICES SHALL BE CAPPED OFF AT THE MAIN LINE BEFORE THE EXISTING BUILDING IS RAZED.
- THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AS DETERMINED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
- RETAIN ALL BUILDING SERVICES AND SITE UTILITIES UNLESS OTHERWISE NOTED ON THE PLANS.
- ANY BUILDING STRUCTURES TO BE DEMOLISHED, WHICH CONTAIN ASBESTOS AND ASBESTOS CONTAINING MATERIAL SHALL BE DEMOLISHED AND REMOVED BY A PROPERLY LICENSED CONTRACTOR AND SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- EXISTING TREES TO REMAIN SHALL BE PRUNED BY A CERTIFIED ARBORIST AT THE LANDSCAPE ARCHITECT'S DISCRETION.
- ALL GAS CUT AND CAP WORK TO BE PERFORMED BY THE GAS COMPANY. ALL EXCAVATION, REMOVAL AND BACKFILLING OF GAS SERVICE LINES ON SITE SHALL BE PERFORMED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATIONS AND MAINTAIN ALL EROSION CONTROL MEASURES DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY UPON THE ESTABLISHMENT OF ALL LANDSCAPED AREAS. IF EXISTING DRAINAGE STRUCTURES ARE TO BE USED DURING CONSTRUCTION, SILT SOCKS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPAL STANDARDS.
- FIRE HYDRANTS ARE NOT TO BE USED FOR DEMOLITION OR CONSTRUCTION WATER UNLESS APPROVED BY THE WATERTOWN DPW. HYDRANT PERMITS ARE AVAILABLE AT THE DPW OFFICE.

APP	
BY	
DESCRIPTION	
DATE	
REV	

180 LONGWATER DRIVE
NORWELL, MA 02061
PHONE: (781) 782-3800
FACSIMILE: (781) 782-0353

McKenzie Engineering Group, Inc.

PROFESSIONAL CIVIL ENGINEERING AND LAND SURVEYING

PREPARED BY:

LEXUS OF WATERTOWN
121-125 WALNUT STREET &
314 & 330 ARSENAL STREET
WATERTOWN, MASSACHUSETTS

PROFESSIONAL ENGINEER:

ARSENAL VIEW, LLC
330 Arsenal Street
Watertown, Massachusetts 02472

NOT FOR CONSTRUCTION

OWNER/APPLICANT:
Arsenal View, LLC
330 Arsenal Street
Watertown, Massachusetts 02472

DRAWN BY: DWK
DESIGNED BY: BOM
CHECKED BY: BOM
APPROVED BY: BOM

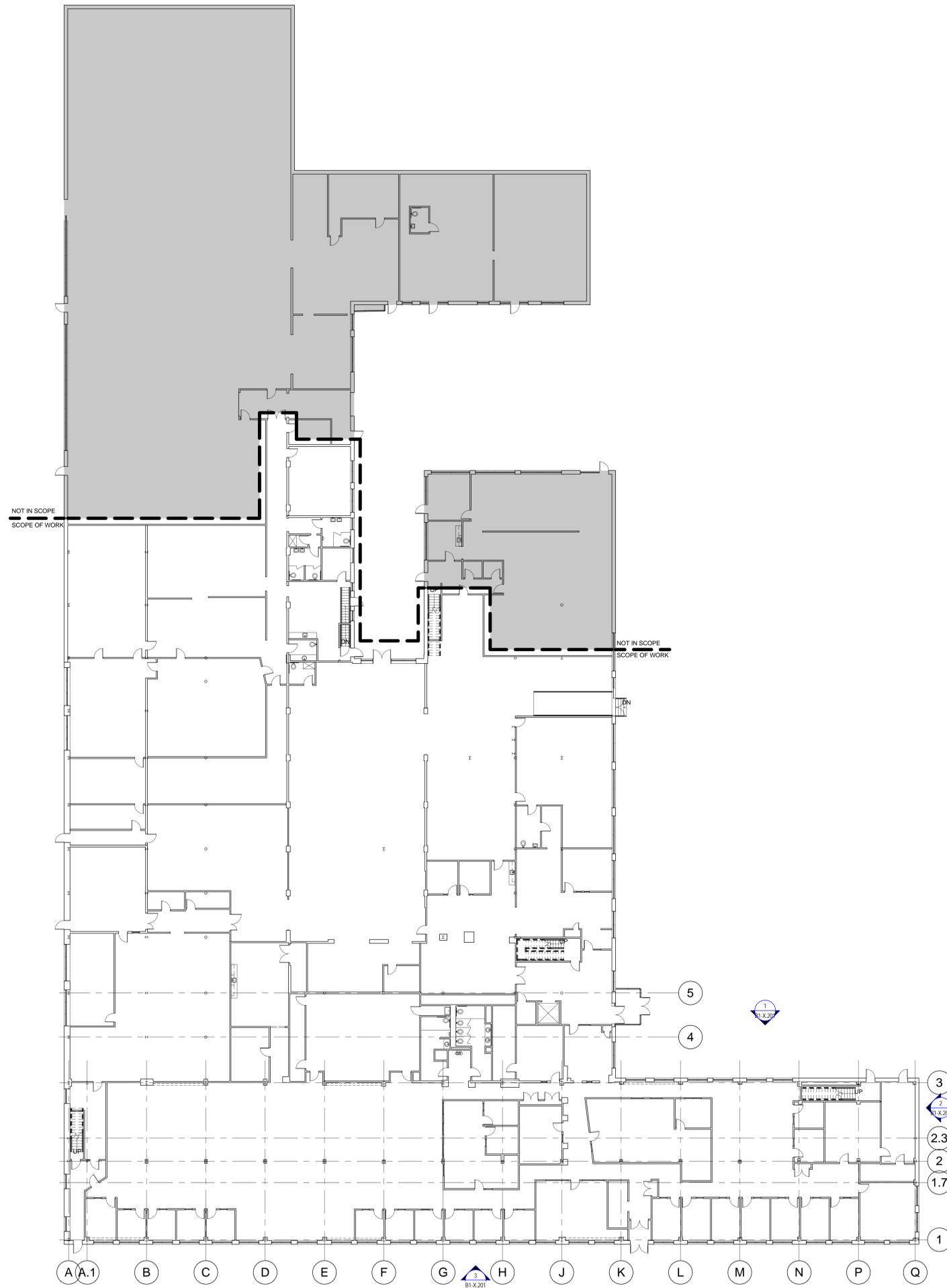
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SCALE: 1" = 30'
PROJECT NO.: 213-164

DWG. TITLE:
Demolition Plan

DWG. No: **C-1**

SCALE: 1" = 30'
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FILE LOCATION: M:\213-164 Main.dwg



1 FIRST FLOOR EXISTING CONDITIONS PLAN
1/16" = 1'-0"

Key Plan:

Architect's Stamp:

Project:
Lexus Pre-Owned at Walnut Street and Arsenal Street
 121-125 Walnut Street and 298-314 Arsenal Street
 Winstown, MA 02472

Client:
 Arsenal View LLC
 330 Arsenal Street
 Watertown, MA 02472
 (617) 393-1000

Project #: 13040
 Scale: As Noted

Issue: _____ Date: _____
 Special Permit Application 01.14.14

Revisions: _____ Date: _____

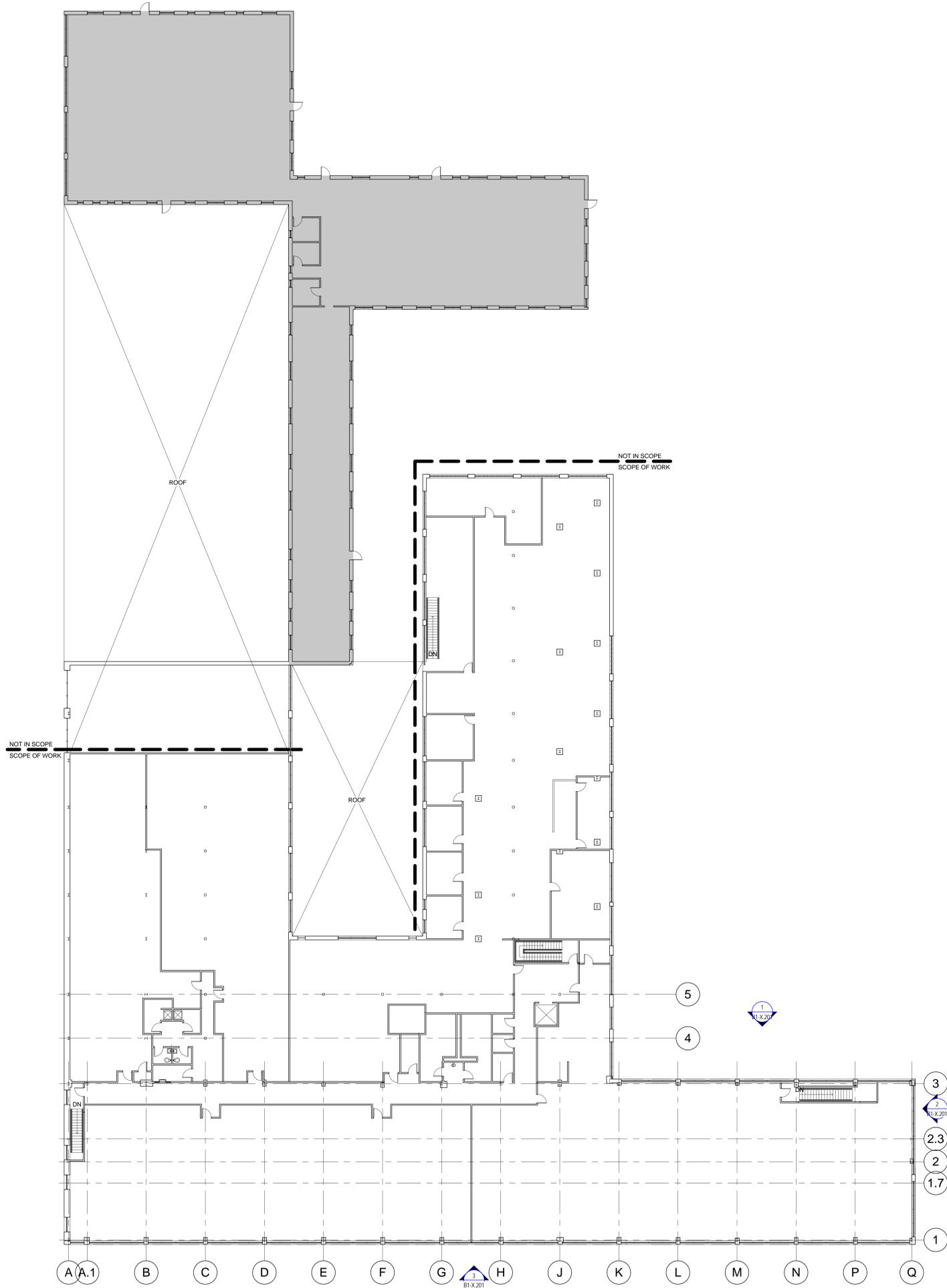
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1 SECOND FLOOR EXISTING CONDITIONS PLAN
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Watertown, MA 02472

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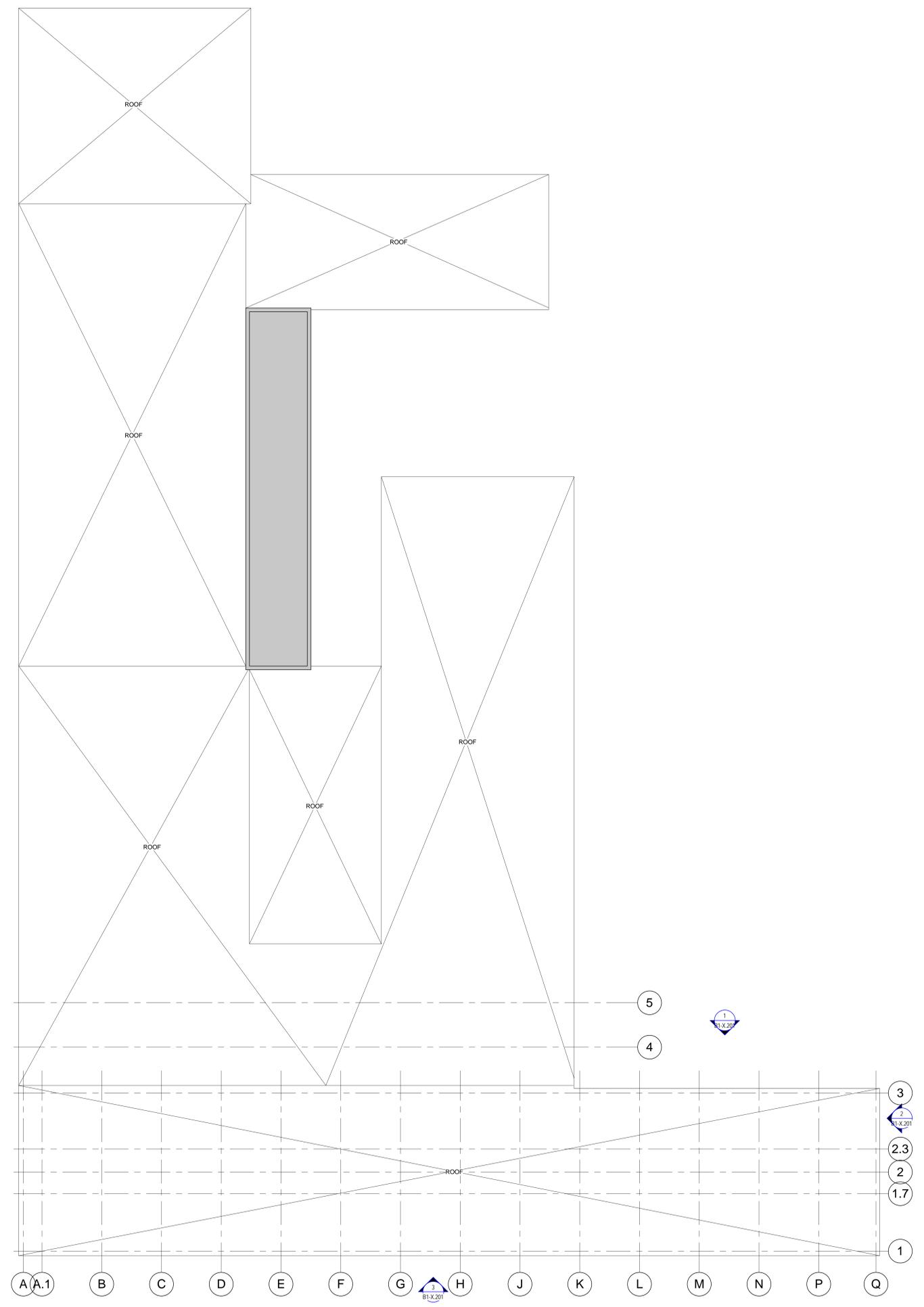
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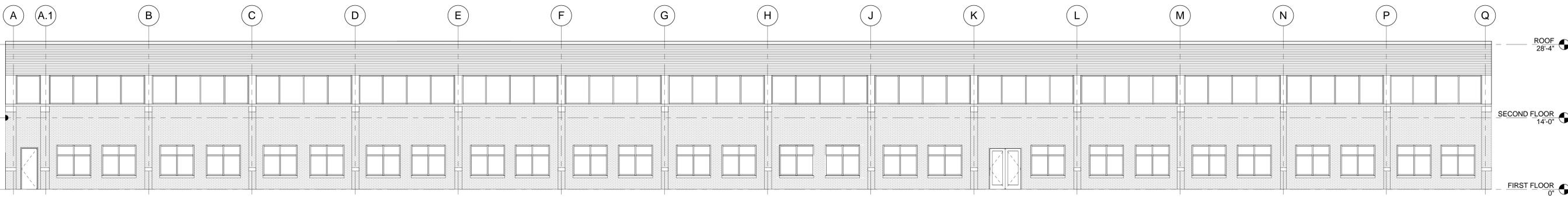
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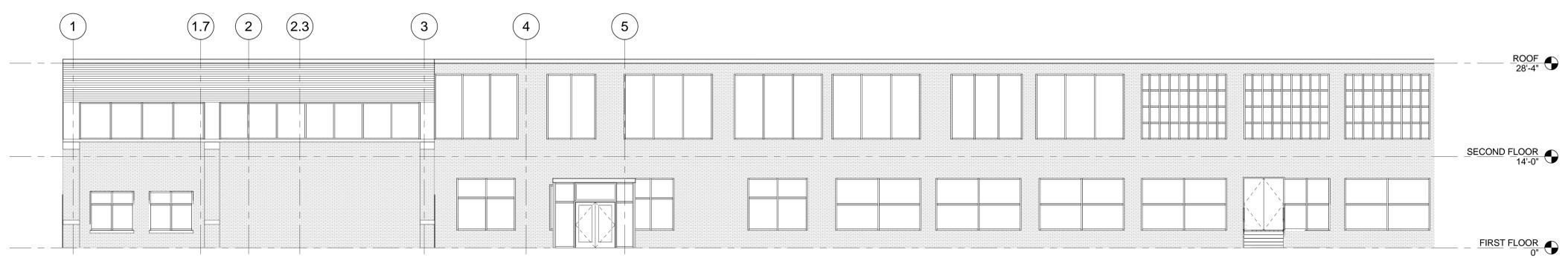
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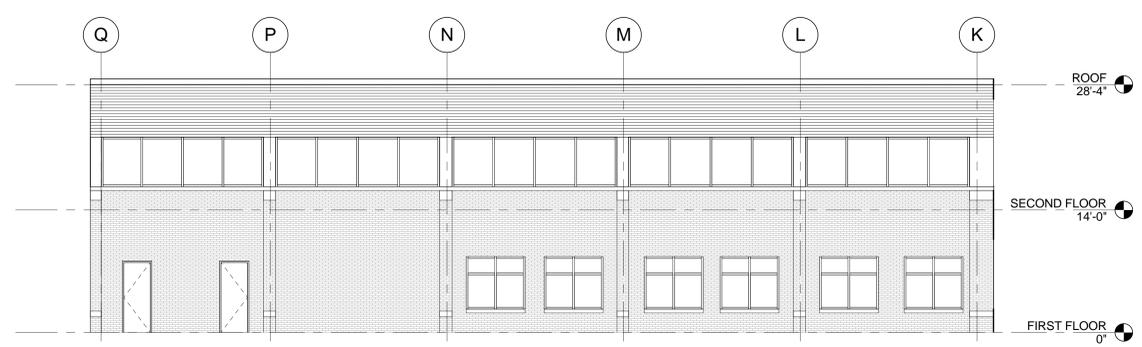
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3 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



2 EXISTING EAST ELEVATION
1/8" = 1'-0"



1 EXISTING NORTH ELEVATION
1/8" = 1'-0"

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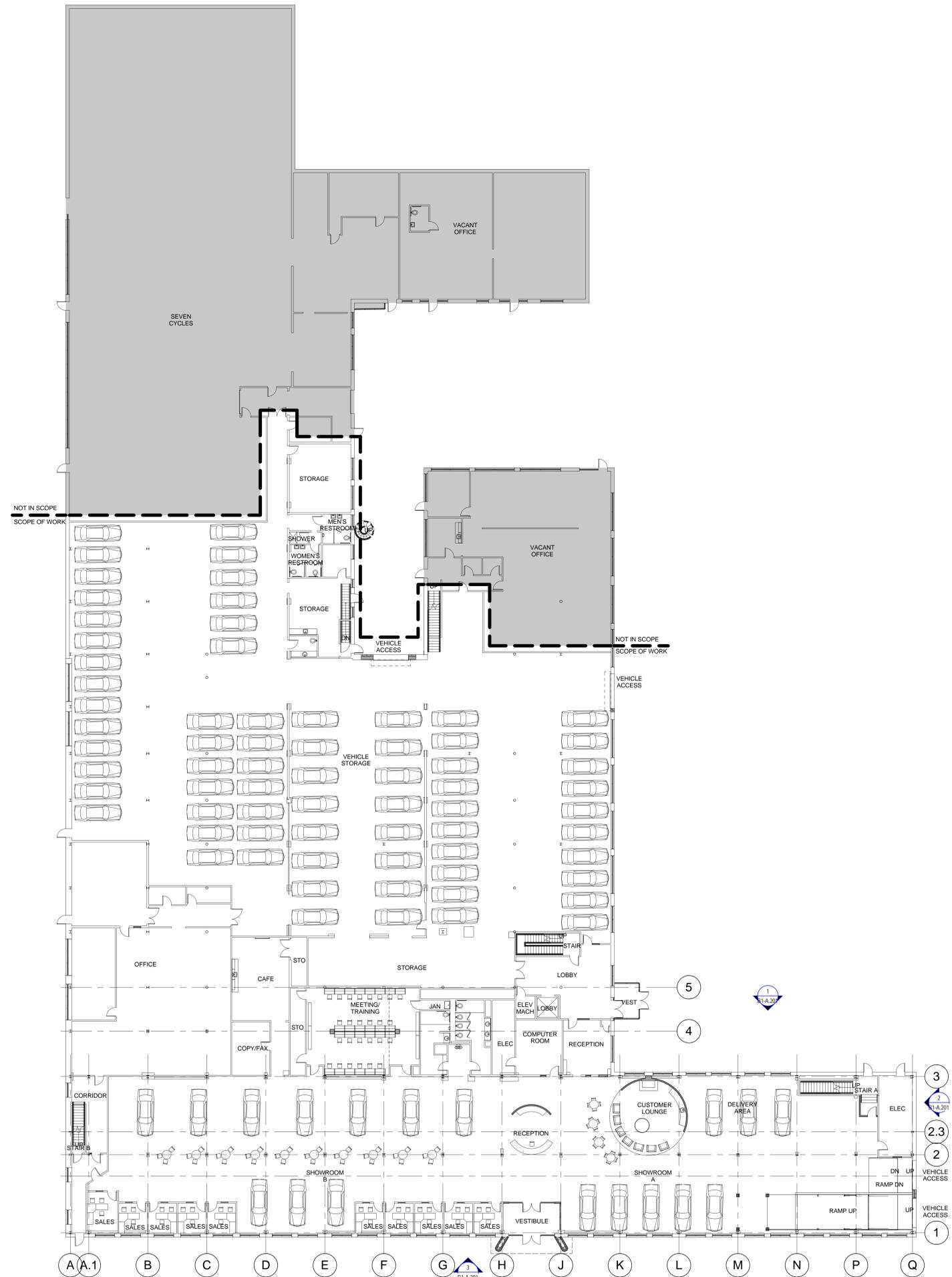
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1 FIRST FLOOR PLAN
1/16" = 1'-0"

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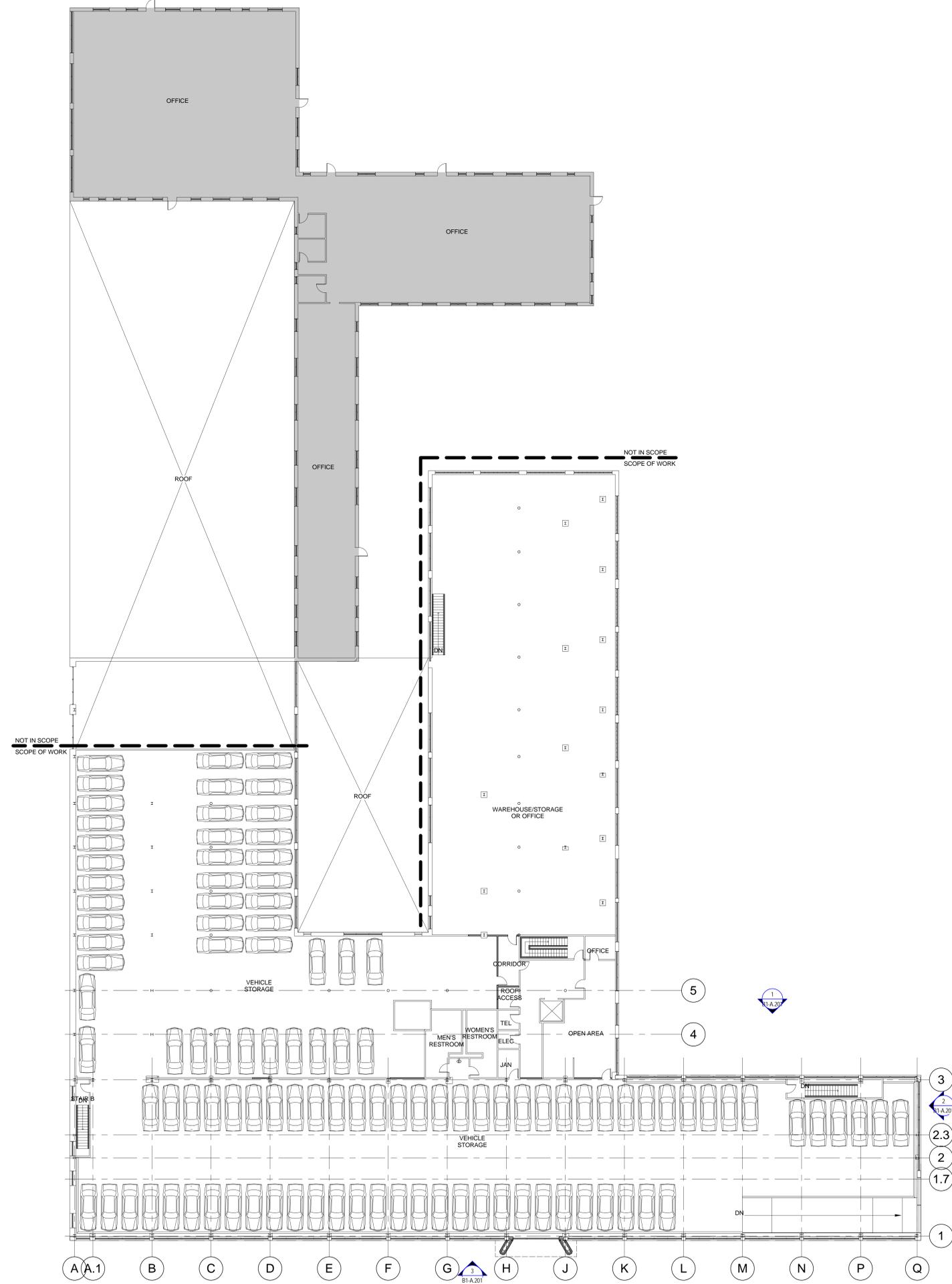
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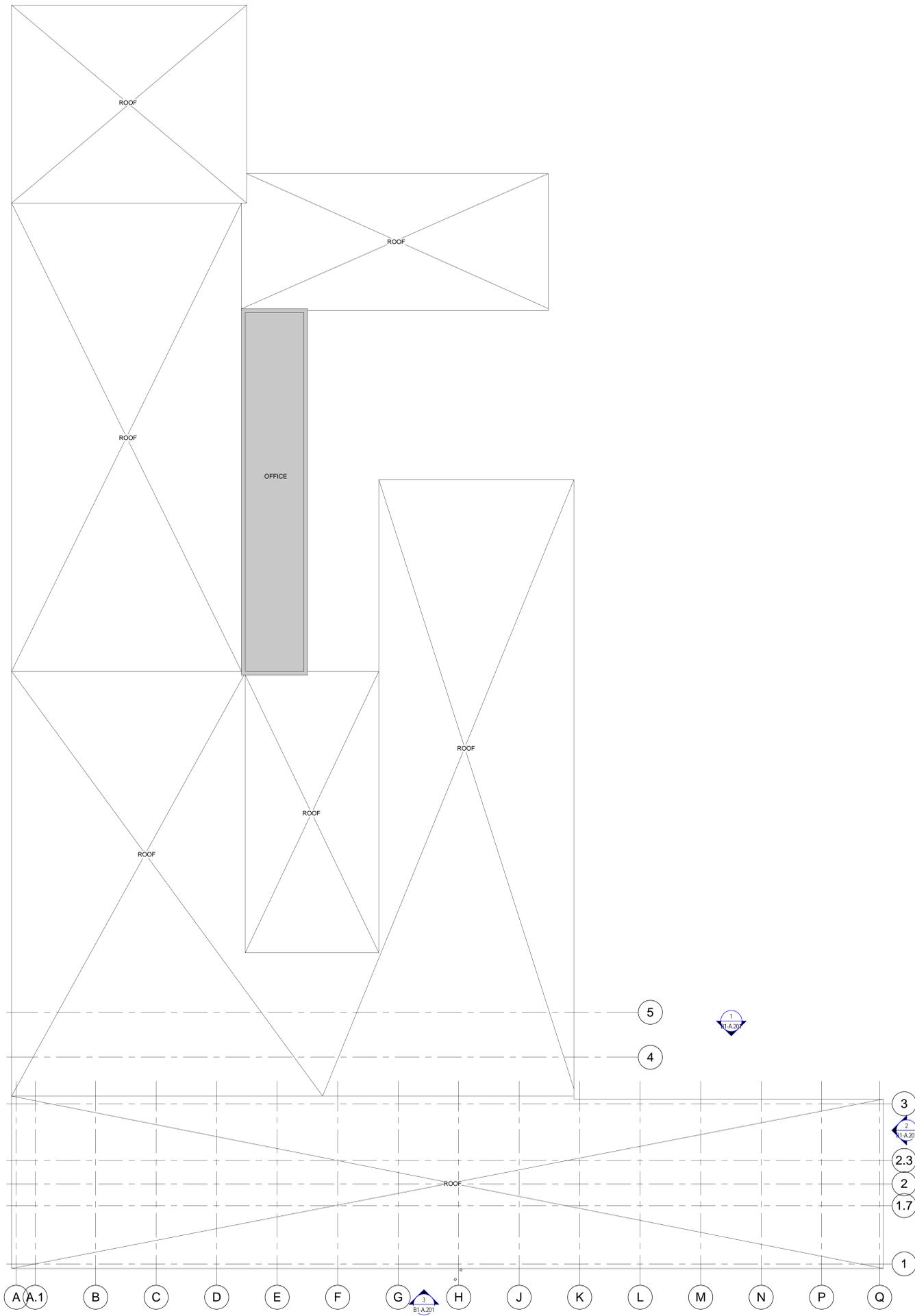
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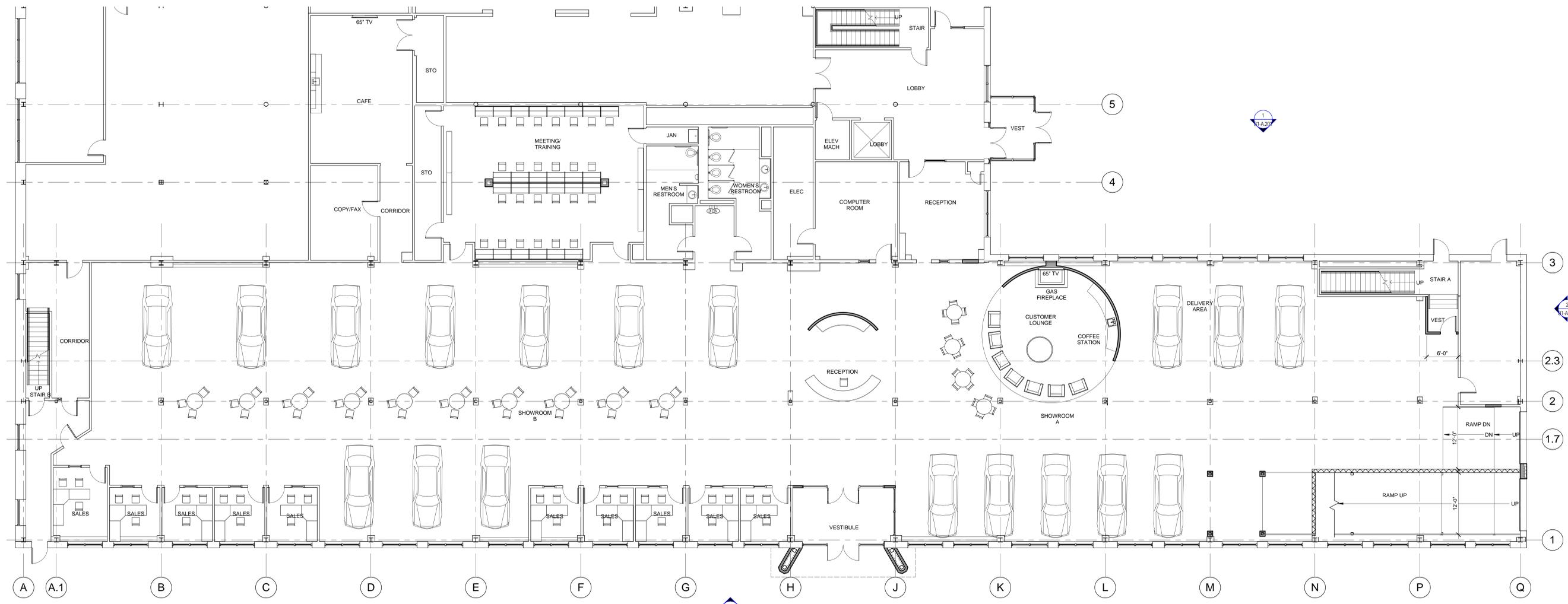
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1 PARTIAL FIRST FLOOR PLAN
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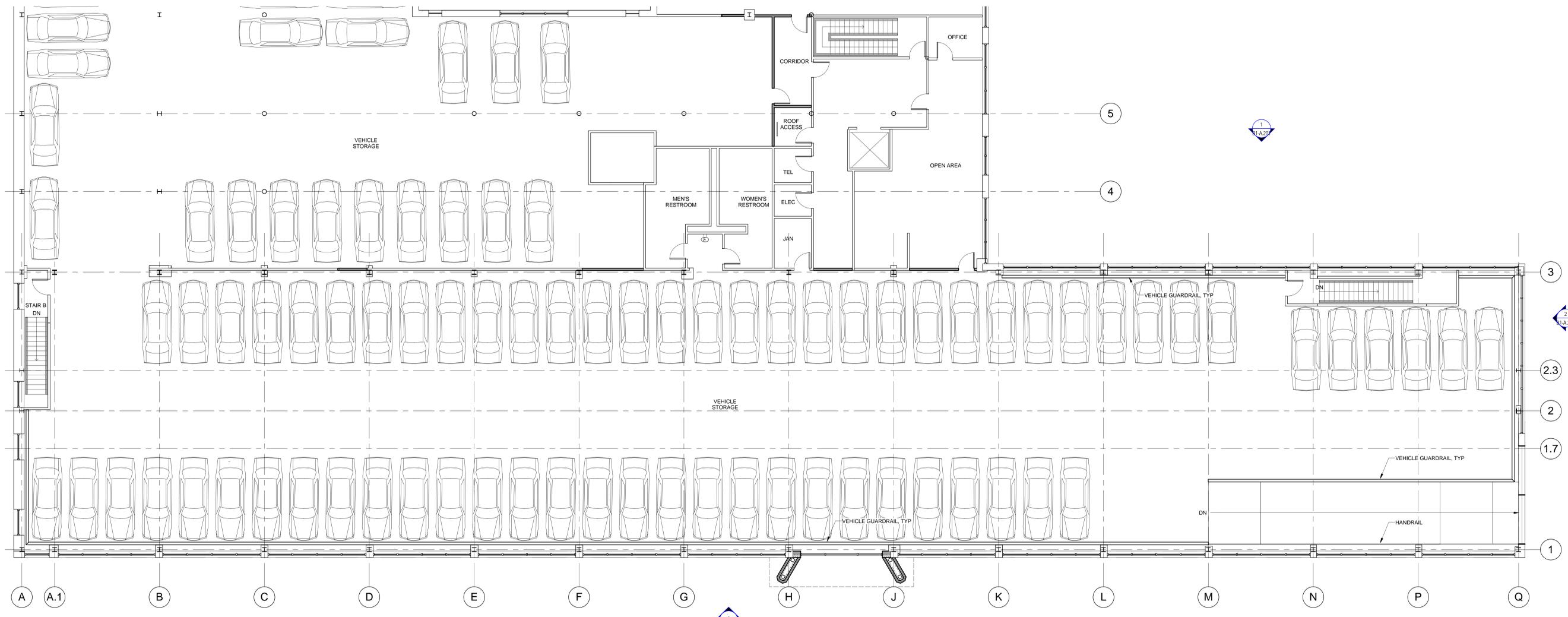
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PARTIAL FIRST FLOOR PLAN - MATCHLINE A

Sheet Number:

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1 PARTIAL SECOND FLOOR PLAN
1/8" = 1'-0"

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PARTIAL SECOND FLOOR PLAN - MATCHLINE A

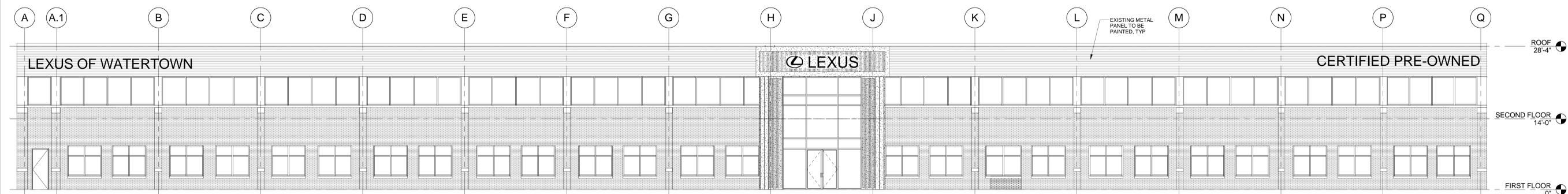
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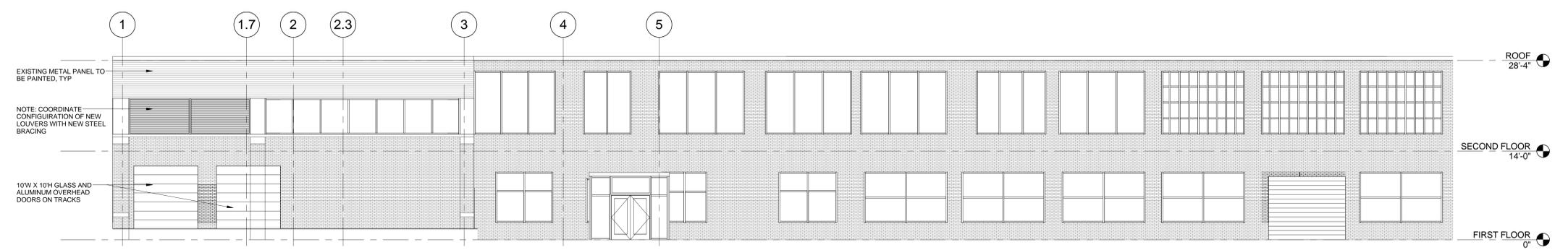
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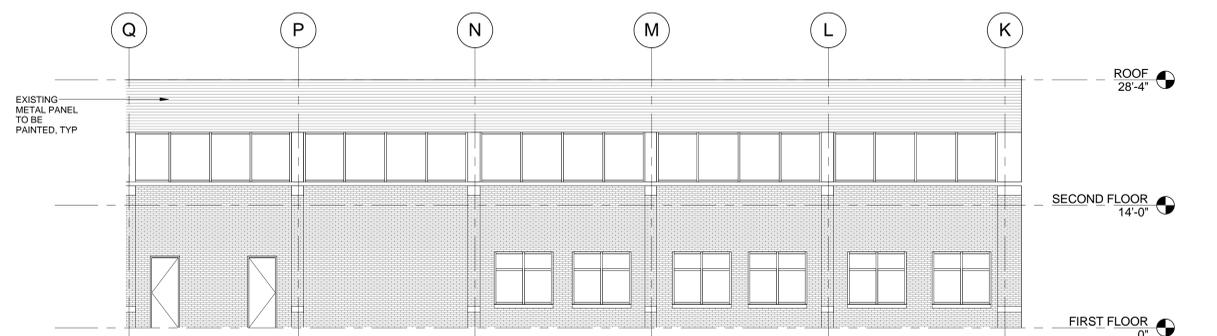
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3 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



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1/8" = 1'-0"

Key Plan:

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Project #: 13040
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Issue: _____ Date: _____
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EXTERIOR ELEVATIONS

Sheet Number:

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Key Plan:

Architect's Stamp:

Project:
Lexus Pre-Owned at Walnut and Arsenal Street
121-125 Walnut Street and 298-314 Arsenal Street
Watertown, MA 02472

Client:
Arsenal View LLC
330 Arsenal Street
Watertown, Ma 02472
(617) 393-1000

Project #: 13040
Scale: As Noted

Issue: _____ Date: _____
Special Permit Application 01.14.14

Revisions: _____ Date: _____

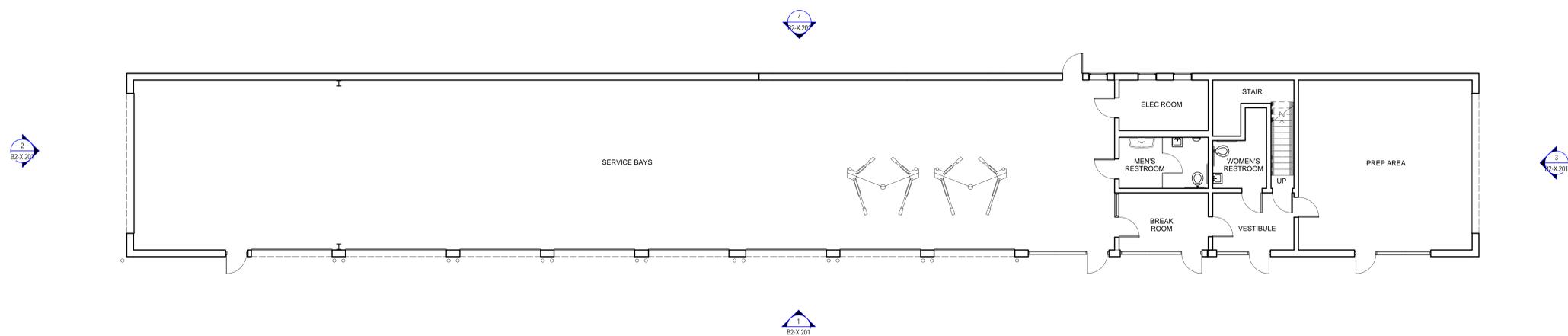
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Sheet Number:

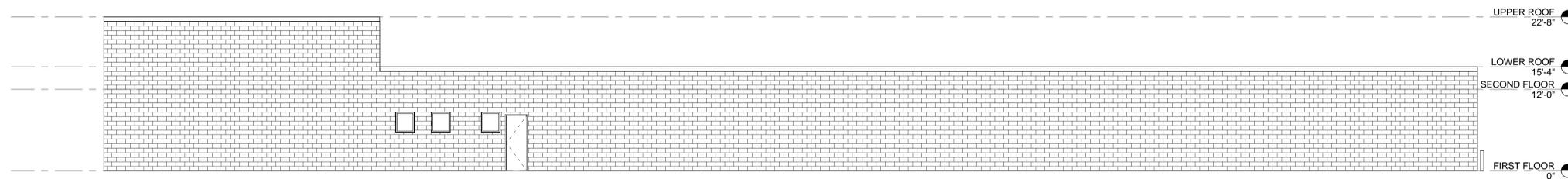
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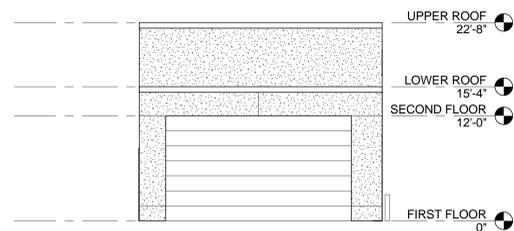
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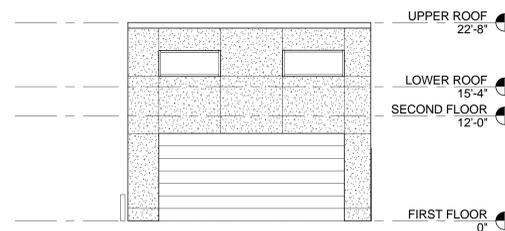
1 FIRST FLOOR EXISTING CONDITIONS PLAN
1/8" = 1'-0"



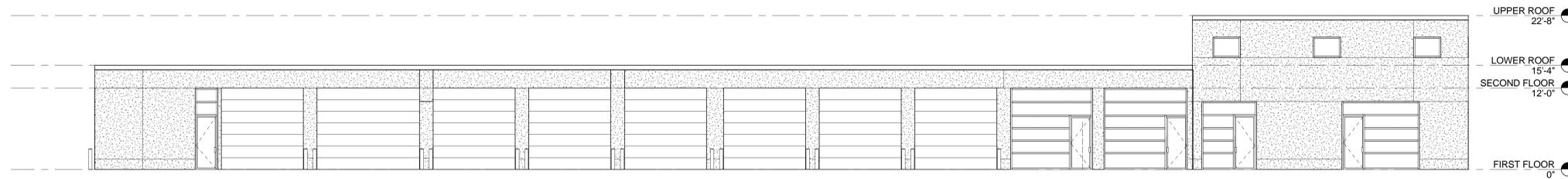
4 EXISTING NORTH ELEVATION
1/8" = 1'-0"



2 EXISTING WEST ELEVATION
1/8" = 1'-0"



3 EXISTING EAST ELEVATION
1/8" = 1'-0"



1 EXISTING SOUTH ELEVATION
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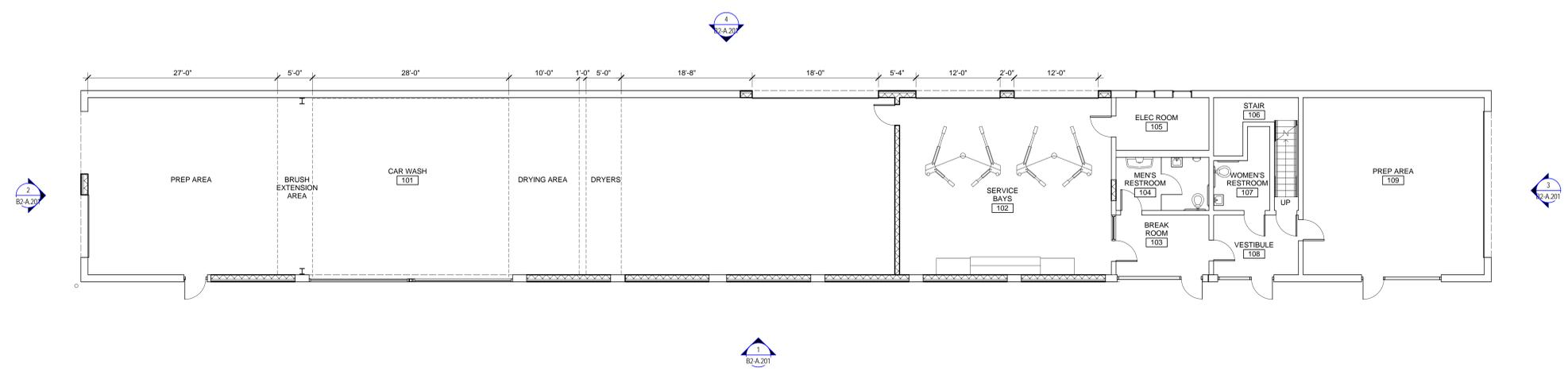
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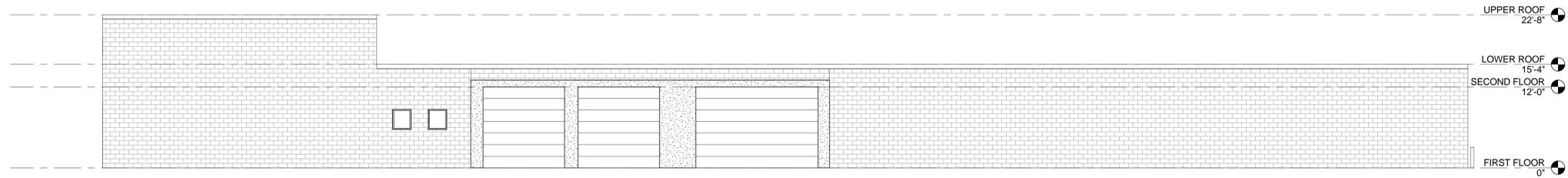
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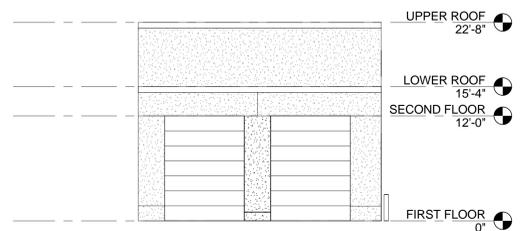
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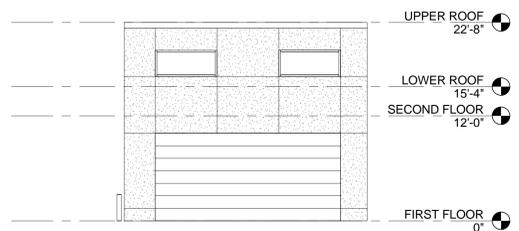
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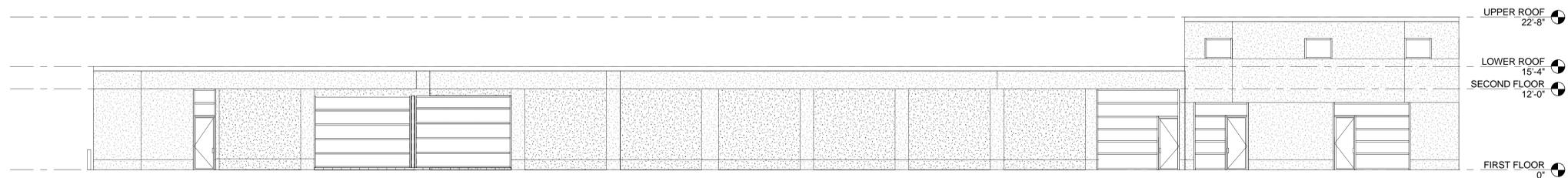
4 NORTH ELEVATION
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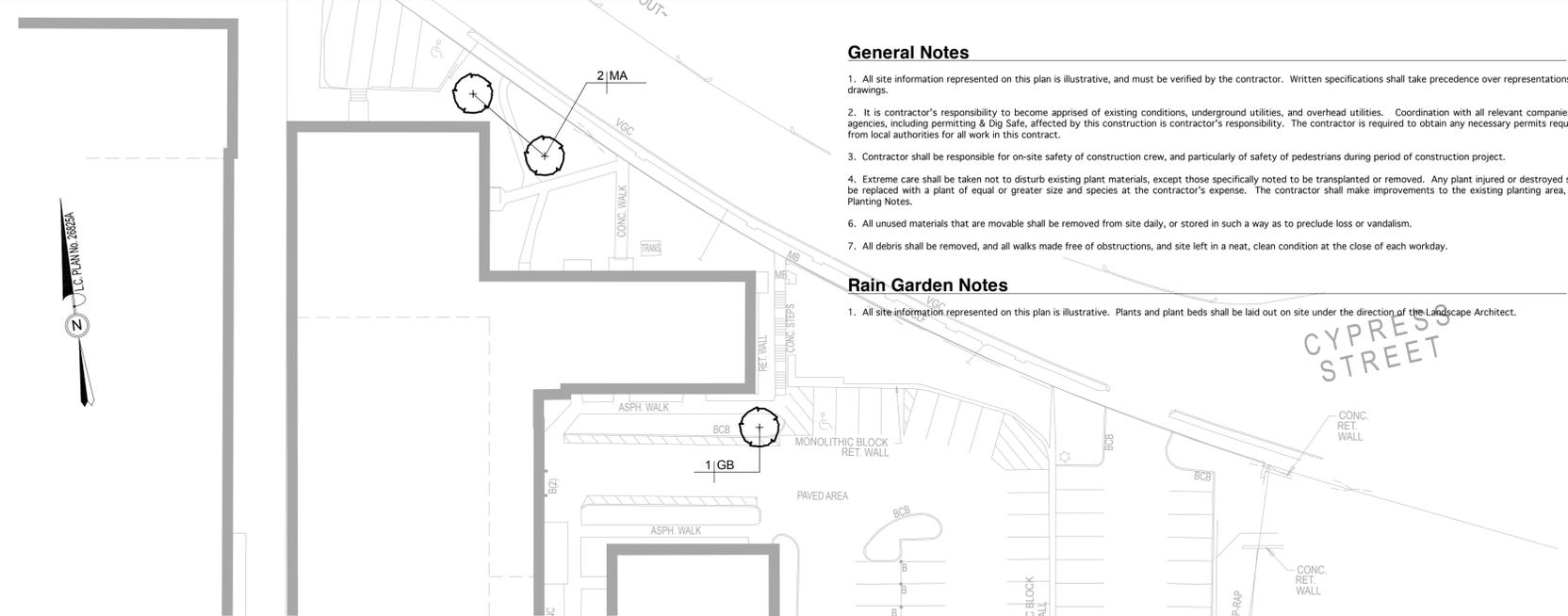
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ELEVATIONS

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General Notes

- All site information represented on this plan is illustrative, and must be verified by the contractor. Written specifications shall take precedence over representations on drawings.
- It is contractor's responsibility to become apprised of existing conditions, underground utilities, and overhead utilities. Coordination with all relevant companies or agencies, including permitting & Dig Safe, affected by this construction is contractor's responsibility. The contractor is required to obtain any necessary permits required from local authorities for all work in this contract.
- Contractor shall be responsible for on-site safety of construction crew, and particularly of safety of pedestrians during period of construction project.
- Extreme care shall be taken not to disturb existing plant materials, except those specifically noted to be transplanted or removed. Any plant injured or destroyed shall be replaced with a plant of equal or greater size and species at the contractor's expense. The contractor shall make improvements to the existing planting area, see Planting Notes.
- All unused materials that are movable shall be removed from site daily, or stored in such a way as to preclude loss or vandalism.
- All debris shall be removed, and all walks made free of obstructions, and site left in a neat, clean condition at the close of each workday.

Rain Garden Notes

- All site information represented on this plan is illustrative. Plants and plant beds shall be laid out on site under the direction of the Landscape Architect.

Planting Notes

- The Contractor shall locate and verify all utilities prior to starting work.
- The Contractor shall supply all plant materials in quantities sufficient to complete the planting shown on all Drawings. Plant counts are for convenience only. Contractor shall use sufficient plant materials to fulfill design intent, but in no case shall contractor use fewer plants than listed.
- All material shall conform to the guidelines established by the "American Standard for Nursery Stock", published by the American Association of Nurserymen.
- Contractor shall test soil in all plant areas and shall amend the soil as needed. Hard packed soil may need to be removed and replaced with rich, organic loam. The contractor shall grade and blend new earthwork smoothly with existing contours. Fine grading must be accepted by the Owner's rep before planting begins.
- All plants shall bear the same relationship to finished grade as original grade before digging. Plants to be transported shall be dug carefully, with adequate rootballs and pruned according to ANA standard practice.
- All plants shall be balled in burlap or containerized, unless specified otherwise. All trees and shrubs shall be balled in burlap. No root bound container grown stock will be accepted. All plastic root wrapping and metal wire baskets shall be carefully removed at the time of planting, except that wire that is directly under the rootballs.
- All plant materials are subject to the approval of the Landscape Architect at the nursery and at the site. No unapproved substitutions will be accepted. All trees shall have a single leader unless specified otherwise.
- Trees, shrubs and perennials shall be laid out on site according to the Planting Plan for the approval of the project Landscape Architect. Layout shall be completed prior to arrival of the Landscape Architect. Notify Landscape Architect at least 4 days prior to anticipated date of layout. Coordinate layout and planting dates/times with Landscape Architect.
- Set plants and stakes plumb. The Contractor is responsible for providing planting soil for backfilling of all plants. Submit written content analysis to Owner/Rep. for approval.
- Plant roots thoroughly once immediately after planting and twice during the first twenty-four hour period after planting. The Contractor shall maintain the plants for a minimum of 30 days following installation, or longer if contracted by the Owner. Before the end of the 30day period, the contractor shall provide a written maintenance outline to the Owners and the Contractor shall be available to answer questions or concerns at that time.
- Mulch: Contractor shall place 2" - 3" of shredded leaf mulch throughout the plant bed areas and around the base of each new tree (30" diameter mulch bed, approximately). DO NOT PLACE MULCH AGAINST TREE TRUNKS. Submit sample of mulch for approval.
- All trees and shrubs shall be sprayed with anti-desiccant within twenty-four hours after planting. All plants to be sprayed with an anti-desiccant the first week of November the first winter following planting.
- All plants shall be guaranteed for a minimum of one year from the date of final acceptance of planting by the Landscape Architect. Contractor shall replace, at his/her own expense, any dead or diseased plants, or any plant material deemed by the Landscape Architect to be in poor condition.
- All trees and shrubs shall be sprayed with anti-desiccant within twenty-four hours after planting. All plants to be sprayed with an anti-desiccant the first week of November the first winter following planting.
- For lawn areas—contractor shall submit seed mix for approval and shall discuss installation methods and procedures with Landscape Architect and/or Owner's rep. prior to construction.
- All plants shall be guaranteed for a minimum of one year from the date of final acceptance of planting by the Landscape Architect. Contractor shall replace, at his/her own expense, any dead or diseased plants, or any plant material deemed by the Landscape Architect to be in poor condition.

PLANT LIST

Symbol/Botanical Name	Common Name	No.	Size	Approx. Size (height & width) at Maturity
Deciduous Trees (all trees shall have a single leader)				
AC/Acer campestre	Hedge Maple	8	2.5-3'C	20'Ht x 18'W / Matching/ 1" branches @6'Ht
AR/Acer rubrum 'October Glory'	Octob Glory Red Maple	10	2.5-3'C	45'Ht x 40'W / Matching/1" branches @6'Ht
GB/Ginkgo biloba 'Princeton Sentry'	Columnar Ginkgo	11	2.5-3'C	40'Ht x 10'W/ Matching
MA/Malus 'Spring Snow'	Spring Snow Crabapple	10	2-2.5'C	18'Ht x 10-15'W / Matching
Evergreen Trees				
TH/Thuja occ. 'Smaragd'	Emerald Green Arborvitae	24	6-7'Ht	15'Ht x 3-4'W/ Matching, full to base
TW/Thuja occ. 'Wintergreen'	Wintergreen Arborvitae	3	6-7'Ht	15-20'Ht x 5-6'W/ Matching
Shrubs				
CL/Clethra alnifolia 'Compacta'	Compact Summersweet	20	2 Gal	Full, matching
CS/Cornus sericea 'Allman's Compacta'	Allman's Compact Redtwig Dogwood	26	3 Gal	Full, matching
FG/Fothergilla gardenii	Dwarf Fothergilla	30	24-30"Ht	White fls early May; specimen plants/Matching
IC/Ilex crenata 'Green Lister'	Green Luster Holly	97	18-24"Ht	Full, matching
IG/Ilex glabra 'Shamrock'	Shamrock Compact Inkberry	34	2.5'-3'Ht	Matching, full plants; evergreen, B&B only
IV/Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	30	3 Gal	Matching, full plants
TA/Taxus cuspidate 'Greenwave'	Greenwave Yew	16	24-30" Ht	Full, matching; unsharped
Groundcover, Grasses, Perennials				
JC/Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	28	1 Gal	6-12"Ht Groundcover
DAY/Hemerocallis Stella d'Oro	Stella D'Oro Daylily	50	2 Gal	Yellow fls June-frost
DAY/Hemerocallis 'Returns'	Returns Daylily	50	2 Gal	25 Red Hot Returns + 25 Sunset Returns
KF/Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	10	2 Gal	Upright habit/Fls June-Sept; cut back in spring
PE/Pennisetum al. 'Hamelin'	Hamelin Grass	20	2 Gal	Cut back in spring

Tree Pit
Width of pit shall be three times width of rootball.
Place root ball on undisturbed soil.

Slope sides of pit and scarify.
Top of ball shall be at same grade as growing in nursery.

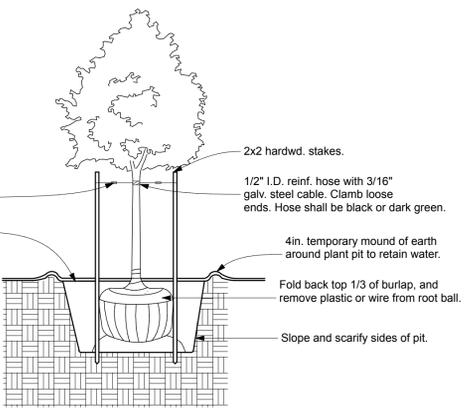
Planting Mix & Watering:
Backfill shall be slightly improved material from tree pit. Break up clods and compacted soil and add minimal amounts of vermiculite and organic material if soil is poor. Add soil gradually and tamp lightly when backfilling. Water halfway and allow to drain. Water thoroughly after backfill complete.

Mulch:
Place 2in. to 4in. mulch around each tree, 36in. dia. circle, minimum.
Do not place any mulch against tree trunk.

See Planting Notes for mulch, watering and other requirement.

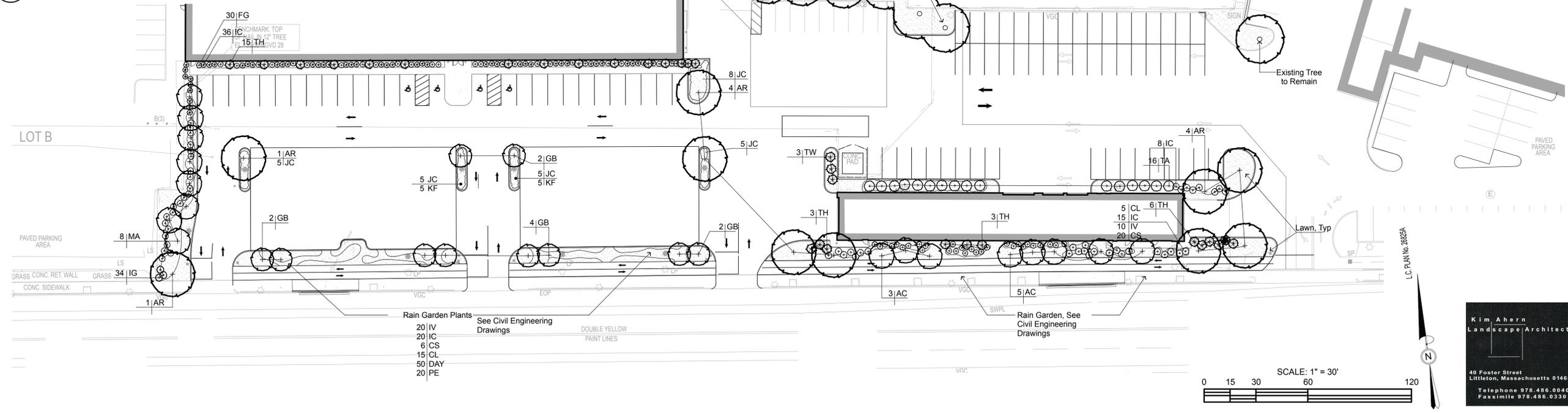
Staking:
Generally, large trees do not need staking or tree wrap. However, contractors may stake trees to protect from mowers and to provide anchorage, especially if wind is a problem.

If stakes are necessary, use 3 stakes, 6ft. to 8ft. long, driven 2ft. into ground and 1 ft. from trunk of tree. Guy material shall be wide fabric band. Stakes should be fastened to allow some trunk movement. Stakes & guy should be removed within 1 year of planting.



5 DETAIL-Typical Deciduous Tree Planting

SCALE: 1/4" = 1'-0"



- Rain Garden Plants**
- 20 IV
 - 20 IC
 - 6 CS
 - 15 CL
 - 50 DAY
 - 20 PE
- See Civil Engineering Drawings

Kim Ahern Landscape Architects
40 Foster Street
Littleton, Massachusetts 01460
Telephone 978.486.0040
Facsimile 978.486.0330

REV	DATE	DESCRIPTION	BY	APP

McKenzie Engineering Group, Inc.
PROFESSIONAL CIVIL ENGINEERING AND LAND SURVEYING
180 LONGWATER DRIVE
ROCKWELL, MA 02061
PHONE: (981) 792-3800
FACSIMILE: (981) 792-0833

Lexus of Watertown
121-125 Walnut Street &
314 & 330 Arsenal Street
WATERTOWN, MASSACHUSETTS

PROFESSIONAL ENGINEER:

OWNER/APPLICANT:
Arsenal View, LLC
330 Arsenal Street
Watertown, Massachusetts 02472

DRAWN BY:	DWK
DESIGNED BY:	BCM
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	JANUARY 14, 2013
SCALE:	1"=30'
PROJECT NO.:	213-164
DWG. TITLE:	Planting Plan

DWG. No: **L-1**

DRAFT



Key Plan:

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Drawing Title:
EXISTING CONDITIONS

Sheet Number:

AA-1

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Drawing Title:
 WALNUT STREET SOUTH ELEVATION

Sheet Number:

AA-2

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Drawing Title:
 WALNUT STREET EAST ELEVATION

Sheet Number:
AA-3

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Drawing Title:
 ARSENAL STREET SOUTH ELEVATION

Sheet Number:

AA-4

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