

TOWN OF WATERTOWN

OPEN SPACE And RECREATION PLAN



2015 Update

Department of Community Development & Planning
Watertown, Massachusetts

April 20, 2015

Watertown Open Space Plan 2015 - 2022

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SECTION 1 - PLAN SUMMARY

The 2015 Watertown Open Space and Recreation Plan Update has been developed to provide a renewed policy statement for ensuring the protection of the Town's open space and recreational resources. The purpose of this plan is to: 1) review the goals and objectives set forth in the 2005 Open Space and Recreation Plan Update, 2) note which of those goals were achieved 3) review current open space and recreational needs of residents 4) set new goals and objectives for the next seven years and 5) provide a framework to effect changes in determining Watertown's course as it copes with development and redevelopment, and new community interests and concerns.

The updating process includes comparing goals and objectives set forth in the 2005 Open Space and Recreation Plan to the current needs and concerns of Watertown residents today. Since the 2005 Plan, there has been little change in the amount of new publicly owned open space. During this time, most of the Town's playgrounds have been renovated and new equipment and surfaces have been installed. Additionally, recent street and sidewalk upgrades have improved access to several of the Town's open spaces and parks. New bicycle trails are being built or planned and recreational opportunities along the Charles River are being enhanced.

The Town has recently completed a new Comprehensive Plan - its first since 1988. The Comprehensive Plan addresses current land use issues, particularly along the Pleasant and Arsenal Street corridors and other areas that are likely to see new redevelopment in the coming years. The intensification of development has many residents concerned about the potential impact to their neighborhoods and realizing the significance of open space on privately owned parcels throughout the Town.

In conjunction with the Town's new Comprehensive Plan, this plan update will provide the various town departments, commissions, and committees a basis for consistent direction in regard to decisions affecting development, zoning, acquisition, maintenance, and preservation of open space and/or recreation areas through 2022.

Watertown's Open Space and Recreation Plan has been compiled in accordance with the Massachusetts Executive Office of Energy and Environmental Affairs, Division of Conservation Services, requirements and guidelines. The State requires that all municipalities submit an Open Space and Recreation Plan in order to be eligible for state and federal grant aid offered through the Executive Office of Energy and Environmental Affairs.

SECTION 2 - INTRODUCTION

A. STATEMENT OF PURPOSE

The primary purpose of this Plan is to identify Watertown's open space and recreational resources and to produce a consistent policy directive for town agencies, in order to ensure that these resources are not lost due to the pressures of development or uncoordinated individual actions that affect the Town's open space and recreational system. This Plan aims to facilitate a consistent policy directive regarding development and preservation of public and private properties as they collectively comprise Watertown's open space and recreational system. This Plan also serves as the Town's policy directive regarding specific goals, objectives, and actions for the coming seven years with regard to open space and recreation.

B. PLANNING PROCESS AND PUBLIC PARTICIPATION

The public participation process for the Open Space and Recreation Plan Update took place in concurrence with the development of the Watertown Comprehensive Plan. A series of four public forums were organized from March 2013 to June 2014, each of which addressed open space and recreation resources in the Town. The Town also utilized MindMixer to facilitate interactive online public outreach. The public forums and the MindMixer site were advertised through a variety of media to ensure public awareness of the planning process. This includes posting information and announcements in public places, such as posters and flyers at the Town Hall and a Comprehensive Plan exhibit at the Public Library that was displayed and continuously updated throughout the planning process. Extensive public outreach was also conducted online through the Town's website, the Comprehensive Plan website, e-mail networks, and other online resources.

During the first public forum on March 21, 2013, the Town facilitated discussions on planning issues and opportunities for Watertown's squares, major corridors and neighborhoods. Valuable public input was collected on a number of key themes, including land use, transportation, economic development, and open space and recreation in the community. Electronic polling was also conducted during the public forum which included specific questions on the open space and recreation needs of the community, especially in key areas of the Town such as the Charles River corridor.

Based on public input from the first forum, draft Open Space and Recreation vision and goals were developed. The second public forum on May 20, 2013 offered an opportunity for the public to comment on and further refine the draft. The final Open Space and Recreation goals have been combined with relevant goals from the 2005 Open Space and Recreation Plan, which are presented in Sections 6 and 8 of this Plan.

The third public forum was hosted on October 19, 2013 to review the goals and strategies from the draft Comprehensive Plan and to identify key priorities and implementation actions for the Town. Four breakout sessions were organized, including one for open space, recreation, and natural/cultural resources, to offer the public another opportunity to provide input on open space

and recreation needs and the priority actions that meet these needs.

In addition to the public forums, the Comprehensive Plan used MindMixer as a platform for interactive, online participation throughout the planning process. A number of open space and recreation topics were featured on the MindMixer site to solicit public input on specific types of open space and recreation resources in Watertown as well as on implementation strategies to enhance Watertown's recreation opportunities. The Watertown Comprehensive Plan MindMixer site was among the top three active sites in the country, indicating a successful and effective online public participation process for both the Comprehensive Plan and the Open Space and Recreation Plan Update. (see Appendix B for summary reports of the MindMixer results).

On the heels of the Comprehensive Plan update, the planning process for the Open Space and Recreation Plan Update continued with a review of the 2005 Open Space and Recreation Plan to identify and assess open space and recreational changes since the last plan and develop open space and recreational priorities consistent with the Comprehensive Plan.

C. ENHANCED OUTREACH AND PUBLIC PARTICIPATION

Watertown is a geographically small community with a diverse population, including people of various ethnicities, races, and incomes, as well as a significant immigrant population. The Town recognizes such diversity and is dedicated to providing high quality public services and equal access to community amenities throughout the town.

Based on the 2010 Environmental Justice Population data provided by MassGIS, there are 6 census block groups out of 29 in total in Watertown identified as Environmental Justice (EJ) Populations. These EJ populations are the result of either minority or foreign born populations exceeding 25 percent of the total block group population. These EJ populations were located in two clusters in the West End and East End neighborhoods and accounted for 19.7% of the entire population in Watertown (see Figure 5 - Environmental Justice Populations).

Throughout the Comprehensive Plan process, public outreach was conducted in such a way as to encourage participation from all neighborhoods in Watertown, including those areas that meet Environmental Justice criteria. The results of the planning process also consider the needs and priorities that are specific to those neighborhoods. While no specific enhanced outreach was conducted as part of the planning process, the Town consciously analyzed the distribution of open space and recreation resources in Watertown in relationship to the distribution of Environmental Justice Populations and concluded that the open space planning work undertaken by the Town over the years has resulted in a considerable amount of open space and recreation amenities in the West End and East End neighborhoods to adequately serve the Environmental Justice Populations (see Figure 12 - Open Space and Recreation Resources Inventory). The Town will continue to work towards providing translated materials to ensure that the Environmental Justice Populations are made aware of available open space and recreation opportunities within close proximity to homes. Additional public engagement can occur within nearby religious institutions and through the civic groups that work with those residents.

SECTION 3 - COMMUNITY SETTING

A. REGIONAL CONTEXT

Located along the banks of the Charles River, Watertown is a dense community on the immediate outskirts of Boston (see Regional Context Map). With only 4.1 square miles and a population of 31,915 people, Watertown is often seen as a way point to other destinations, typically the outer suburbs beyond Route 128 or to central Boston. This diverse suburb, however, provides its residents with a close-knit community, prime access to economic/medical/education centers, and a rich 375 year old history going back to America's earliest colonial heritage.

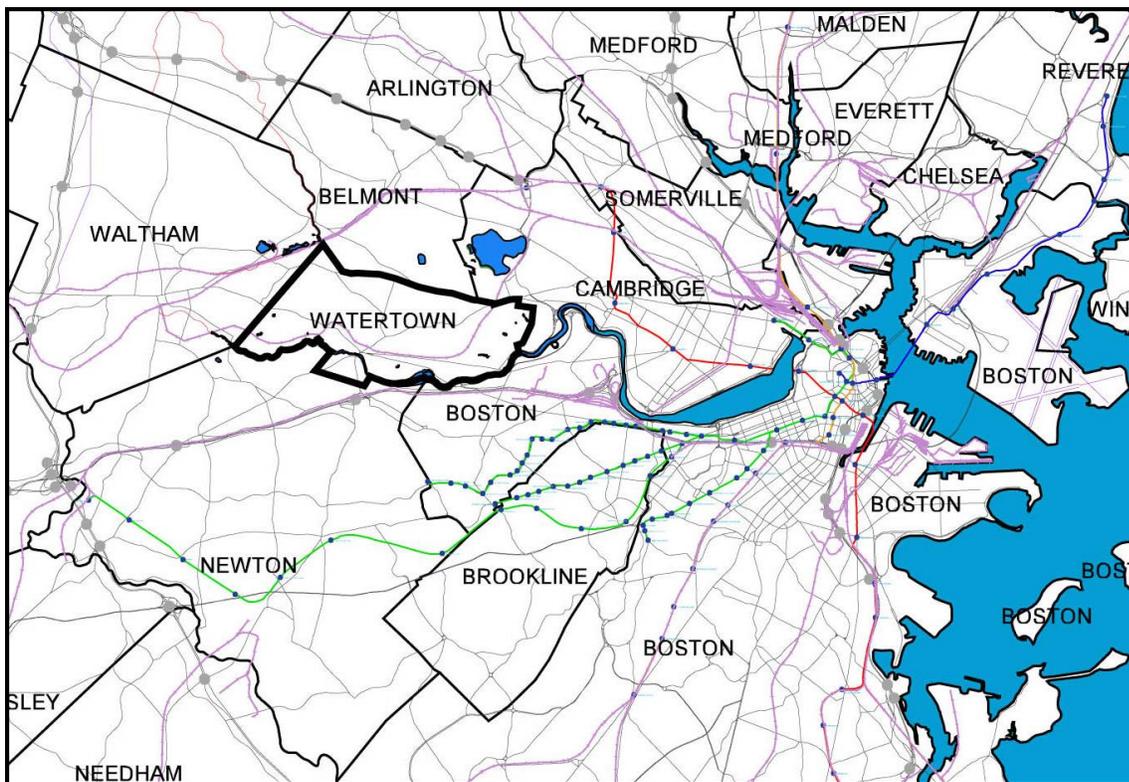


Figure 1 – Regional Context

The central core of the Town revolves around Watertown Square which is at the intersection of six major streets. This intersection is also a key terminus for commuters accessing public transportation into and out of Boston and Cambridge. The Square is close to the town hall, post office, banks, auto sales/ repair businesses, and several retailers and restaurants.

Watertown is often associated with the U.S. Army Arsenal located on Arsenal Street. The Arsenal has had regional employment, economic, and transportation influence from its introduction 180 years ago to its closure in 1995. Many of the Arsenal property's buildings were preserved and redeveloped into the Arsenal on the Charles. Previous closure of segments of the Arsenal in the mid-1970's led to the re-use as the Arsenal Mall, Arsenal Park, a Harvard Vanguard medical facility

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and an elderly housing complex.

Another regionally significant landmark of Watertown is the Mt. Auburn Cemetery, a 175 acre (164 are in Watertown), semi-public open space with numerous pathways that meander through the well-kept arboretum.

Watertown's open space system is closely linked to the larger regional system of open space and natural areas of its regional neighboring communities. Watertown's most renowned natural feature of regional interest is its proximity to the Charles River which partly serves as the municipal boundary with Newton, its neighbor to the south, and provides major opportunities for passive recreation. The Charles River also links Watertown ecologically and recreationally with Cambridge and Boston to the east and with up-stream communities such as Waltham, Newton, Weston, Wellesley, Needham and beyond. Watertown's open space network is particularly closely connected with Cambridge where the two communities share another significant regional landmark, the Mt. Auburn Cemetery as a semi-public open space with numerous pathways that meander through the well-kept arboretum. Approximately 164 acres of the 175-acre Mt. Auburn Cemetery are in Watertown, making it the largest contiguous open space in Watertown and a significant habitat corridor between Watertown and Cambridge.

The Town of Watertown participates in the Metropolitan Area Planning Council's Inner Core Sub-region. The Inner Core Committee consists of twenty-one cities and towns within the metropolitan Boston area. Because they are many of the most urban and populous within the MAPC planning area, Inner Core communities deal with a host of unique challenges, including the provision of open space and recreational opportunities in a diverse and densely populated sub-region. Given the complexity of issues facing these communities, the Inner Core Committee emerged as a forum through which issues of mutual concern could be explored and joint and cooperative action fostered. Committee membership is granted to each of the following communities: Arlington, Belmont, Boston, Brookline, Cambridge, Chelsea, Everett, Lynn, Malden, Medford, Melrose, Milton, Needham, Newton, Quincy, Revere, Saugus, Somerville, Waltham, Watertown and Winthrop.

As part of the development of this Plan, the Town referred to the regional goals and priorities from MAPC's regional plan, *MetroFuture*. Updated in June 2009, *MetroFuture* is the official regional smart growth plan for the Greater Boston area. The plan includes goals and objectives, along with thirteen detailed implementation strategies for accomplishing these goals. Several examples of how this Plan is consistent with *MetroFuture* include:

- Implementation Strategy 6 - The Watertown OSRP strongly advocates for increased bicycle, pedestrian, and transit accessibility. Additionally, the overarching purpose of this Plan is to improve urban parks through by coordinating park planning, leveraging funding for park maintenance, increasing and maintaining the tree canopy, expanding community garden opportunities and protecting natural resources (particularly along the Charles River corridor).
- Implementation Strategy 7 - As demonstrated in this Plan, the recommendations

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provide support for the protection and preservation of natural resources. Additionally, this Plan includes discussion of land preservation on a regional basis, particularly as it relates to the Charles River and the new pedestrian and bicycle connections with adjacent communities. This is consistent with the *MetroFuture* goal of encouraging regional efforts to protect open space and natural resources – particularly ones that cross municipal borders.

B. COMMUNITY HISTORY

Founded in 1630, Watertown has been described as the “mother town” as it was one of America’s earliest colonial settlements and served as an entry into the heartland of America for early settlers. These early arrivals to the “New World” were welcomed by Native Americans of the Pequotsette Tribe (a sub-tribe of the Massachusetts Indians) who had a long-established tribal network strategically situated to access the many natural bounties of the Charles River. Early colonial accounts of the area describe the abundance of bass, salmon, and herring making their way to and from the sea for spawning.

The early town boundaries encompassed much of what is now Belmont as well as portions of Waltham and Cambridge. Originally a transit point into the early colonial frontier, in the early 19th century Watertown evolved to become an active industrial community (see Map: View of Watertown, Mass, 1879). Earlier examples of manufacturing and milling can be found, such as the Mayhew Mill, which was built in 1634 as a water-driven corn mill and continued in operation for over two hundred years. Damming the Charles River became commonplace by the early 1800’s providing water power for various industries such as cotton weaving, sail making, and linen cleaners. Raw materials and finished products were shipped via water to the port at Boston Harbor and continued on to their final destinations throughout the new nation and the rest of the world. The new nation’s need for munitions found Watertown to be ideally located for such manufacturing. Thus the U.S. Army Arsenal was founded in 1816 and continued in operation until its complete closure in 1995. At its height of operations before World War I, the Watertown Arsenal employed over sixteen hundred people and covered an area of over eighty acres.

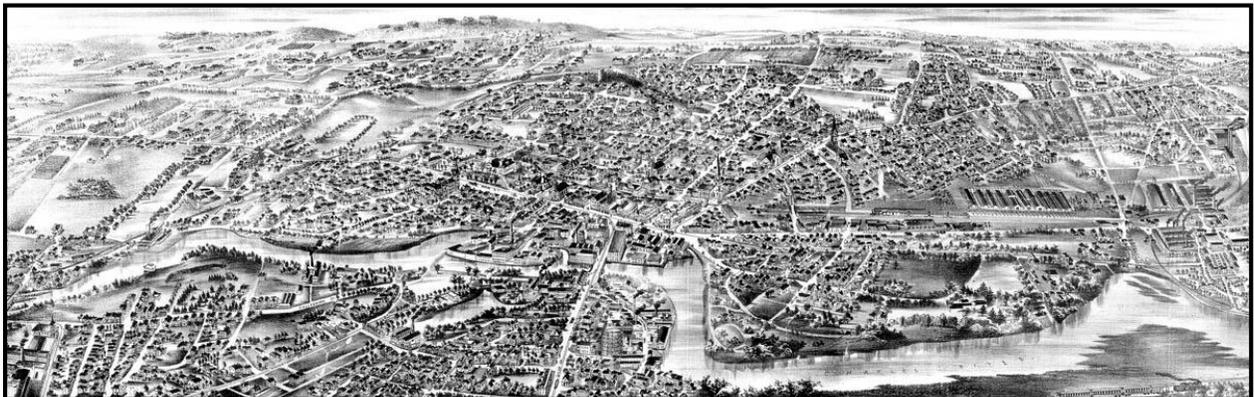


Figure 2 – Watertown, 1895

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Other major industries included the Stanley Steamer Automobile Company, the world's first, and arguably most renowned, steam driven automobile which was a precursor to the modern internal combustion era of automobiles. The Hood Rubber Company (subsequently owned by B.F. Goodrich), located in East Watertown, was established in 1896 and operated until 1969. It served as a major supplier of rubber products throughout both the First and Second World Wars. At its height of operations in 1920, the Hood Rubber Company employed over ten thousand men and women, many of whom were immigrants from Armenia, Ireland, and Canada.

With a burgeoning industrial base, housing became a major concern in the early 20th century. Typical development patterns ensued in which industrial workers settled near the factories of East Watertown and the mills along Pleasant Street west of Watertown Square (see 1903 USGS Topographic Map). The northern and northwestern areas of town were developed from large estates, orchards, and farms, some of which dated back to the mid 1600's. One such estate located on Common Street Hill (also known as Strawberry Hill) was that of the Otis family of Boston; this estate was later renamed "The Oakley" for the numerous oak trees that dotted the estate's forty-five acres. Today the remnants of the Oakley estate are part of the Oakley Country Club, one of America's first golf courses.

Although most of the Town's industries have long since departed, Watertown's housing patterns continue to reflect the earlier socio-economic landscape of the past century. Larger homes and lots in the northern and northwestern segments of the Town give way to higher population density and more urban development as one moves from the northern border with Belmont to the southern and eastern edges that border on Cambridge and Newton where factories once operated.

Much of the Town's economic activity is concentrated on Arsenal Street, in Watertown Square, and along a few other commercial corridors. The Arsenal Mall, a 225,000 square foot redevelopment, opened in 1983. The remainder of the historic Watertown Arsenal buildings were converted to civilian uses in 1995, and is now a commercial and office complex known as the Arsenal on the Charles. There are several redevelopment projects moving through the permitting process along the Arsenal Street corridor that can transform the area. Two formerly industrial areas, Pleasant Street and Coolidge Hill, have evolved over time. Pleasant Street now has a mix of industrial, wholesale, office, research and development, and multifamily housing developments along its corridor. Coolidge Hill is primarily a residential and neighborhood retail area, with some manufacturing still located there.

During the past 300 years, the Charles River along its length has changed from a bountiful aquatic habitat to a polluted waterway, damaged by former use as an open sewer for industrial and human wastes. It was reborn as a "water parkway" in the late 1890's only to decline in the mid-20th century and then be rediscovered as a regional recreational asset. In Watertown, industrial effluent began in the early 1800's with such industries as Lewando's Cleansing and Dying Company on Pleasant Street, Whitney Paper Mill on Morse Street, and the Aetna Mills on Bridge Street. Today, with most of Watertown's industries gone, effluent into the Charles continues to a much lesser degree from smaller sources like surface runoff, isolated spills, and improper sewer tie-ins from households and municipal storm sewers. The Charles River is no longer an industrial asset, but a natural one. The river has begun to rebound with aquatic life, improved water quality

ratings, and a significant return of recreational activities such as the annual “Run of the Charles”. Additionally, the Department of Conservation and Recreation (DCR) continues to make improvements to the Charles River Reservation land that enhances open space and recreational opportunities for Watertown’s residents and visitors.

C. POPULATION CHARACTERISTICS

The population of Watertown in the 2010 U.S. Census, 31,915, represents a 3.2% decrease since 2000. Watertown’s highest population was recorded in the mid-1960’s (40,115) and has steadily decreased since then. Nevertheless, the population seems to have stabilized in recent years around 31,000 to 32,000. Within the 2010 population of 31,915, 84.9% was identified as White. Other ethnicities represented include 3% Black or African American, 0.1% American Indian and Alaska Native, 7.2% Asian, 2.1% Some Other Race, and 2.7% Two or More Races. In comparison, the 2000 Census identified 91.4% of the total population of 32,986 as White, 1.7% as Black or African American, 0.2% as American Indian and Alaska Native, 3.9% as Asian, 0.9% as Some Other Race, and 1.9% as Two or More Races. The ancestral heritage of Watertown’s population has undergone many changes since the original British Puritan exodus to America. Waves of Irish, Canadian, Italian, and Armenian immigration have all contributed to Watertown’s heritage. The largest of these groups are Irish (21%) and Italian (19.5%) according to the 2010 U.S. Census. Many Armenians, fleeing persecution of the Ottoman Empire of the early twentieth century, settled in Watertown and comprise the third largest Armenian population in the United States. Their history is recorded in the Armenian Library Museum at Watertown Square. Many early immigrants found work at the Hood Rubber Company and Arsenal of East Watertown and were able to set up residence in these areas. Today, Watertown’s ethnic and ancestral heritage is evident with numerous community centers, churches, and markets with southeastern European and central Asian origins.

According to the 2010 U.S. Census, Watertown’s elderly population (over age 65) comprises approximately 15% of the Town’s total population. Children (under age 19) comprise 16.9%. These populations changed slightly from 2000 to 2010 as the elderly population decreased by 1.7% and the children population increased by 0.4%. Out of all households 12.1% had someone living alone who was 65 years of age or older. During the 2000’s, the number of households grew by about 0.5%, as the average household size fell from 2.17 person/household in 2000 to 2.15 in 2010. The households consisted of 38.7% married couples living together, with 49.6% being non-families. This could mean program adjustments in many of the Town’s parks as its residents require different activities due to changes in family conditions, the aging of the population, and as a greater emphasis is placed on healthy living.

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Median Household Income by Type, 2010

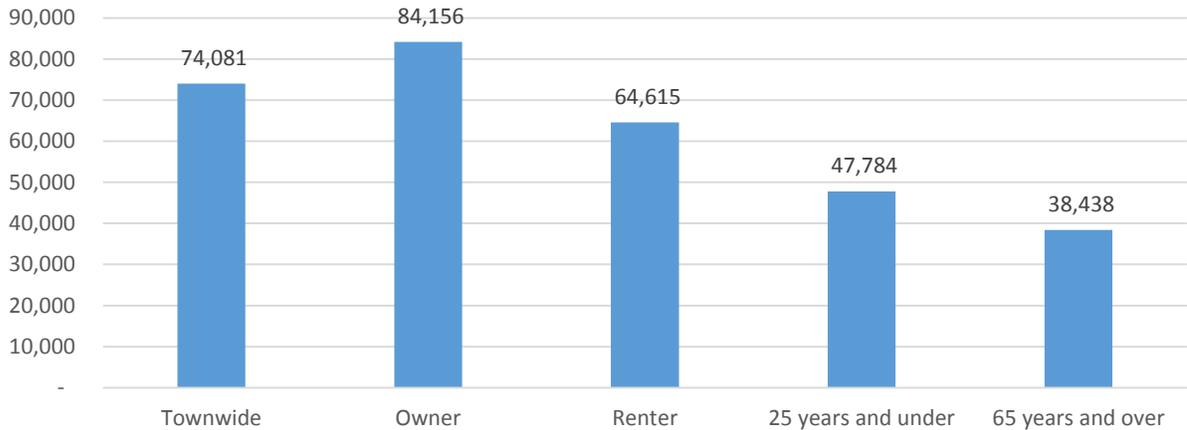


Figure 3 – Median Household Income by Type

In 2010, the median household income in Watertown was \$74,081 (see Figure 3). This represents a 24% increase from \$59,764 in 2000, after being adjusted for inflation. Watertown’s median household income is 14.8% above the state median income in 2010. In 2010, about 7.5% of families and 10.5% of the population were considered below the poverty line. The income ranges can be seen across census block groups in Figure – 4 Median Household Income Map.

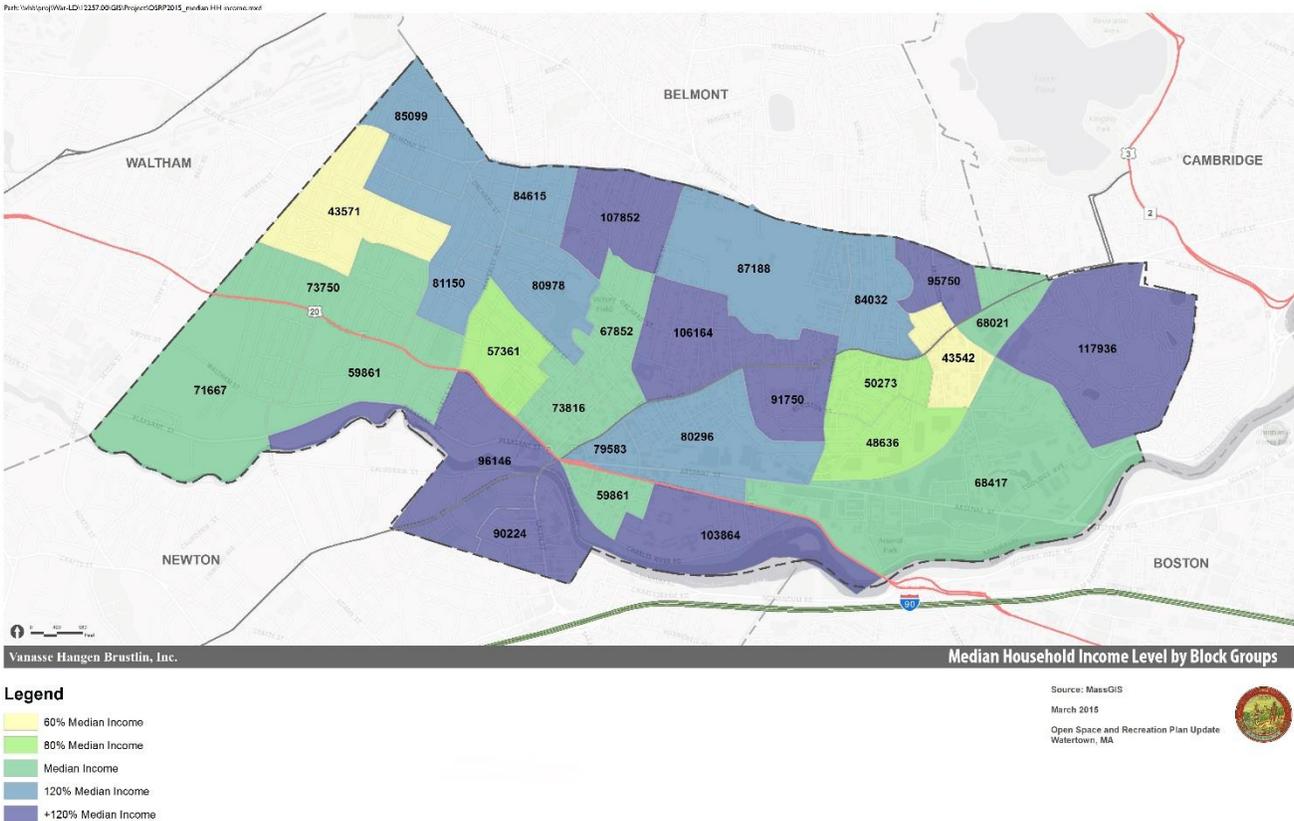


Figure 4 – Median Household Income

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The average population density of Watertown is 7,765 per square mile, though it varies significantly across its boundaries. Watertown is about average for communities in the Boston metro area, but significantly higher than the state average of 839 people per square mile (Massachusetts has the fifth highest density in the country). Although Watertown covers only 4.11 square miles, there are several distinct neighborhoods as one moves from the highly dense East Watertown to the less dense and more affluent north central and northwestern sections of the town. According to the 2010 U.S. Census, there were a total of 15,348 housing units in Watertown, 14,709 of which are occupied. Fifty-two percent of all occupied units are owner occupied. In 2010, the median value of owner occupied housing units was \$431,600, approximately 22.5% higher than the state average. Approximately 53.3% of housing units in Watertown were built prior to 1960. As southern Watertown extends across the Charles River toward Newton, there is a complex mix of commercial and residential development. Century-old multi-family structures abutting commercial structures with inadequate parking are commonplace.

Watertown has a labor force of about 20,125. In 2010, approximately 4.3% of the work force were unemployed, which has been on the rise in recent years. In 2010, Watertown had 1,103 industries of which 1,063 were privately held. This number has changed only moderately over the last decade. Of these, the largest employment sectors included “Professional and Business Services” (22.1%) and “Trade, Transportation and Utilities” (18.5%). These two sectors comprised 40.6% of the employment in the Town while also providing 40.5% of total wages. Other proportionately large employment sectors in the Town included “Education and Health Services” (15.9%), “Financial Activities” (10.5%), and “Information” (10.2%). Manufacturing, at one point one of the highest, is continually decreasing over the years and was the 7th highest employment sector (5.4%). Of the employed residents 25% worked in Boston, 17% stayed in Watertown, 12% commuted to Cambridge, while the rest traveled to other adjacent communities.

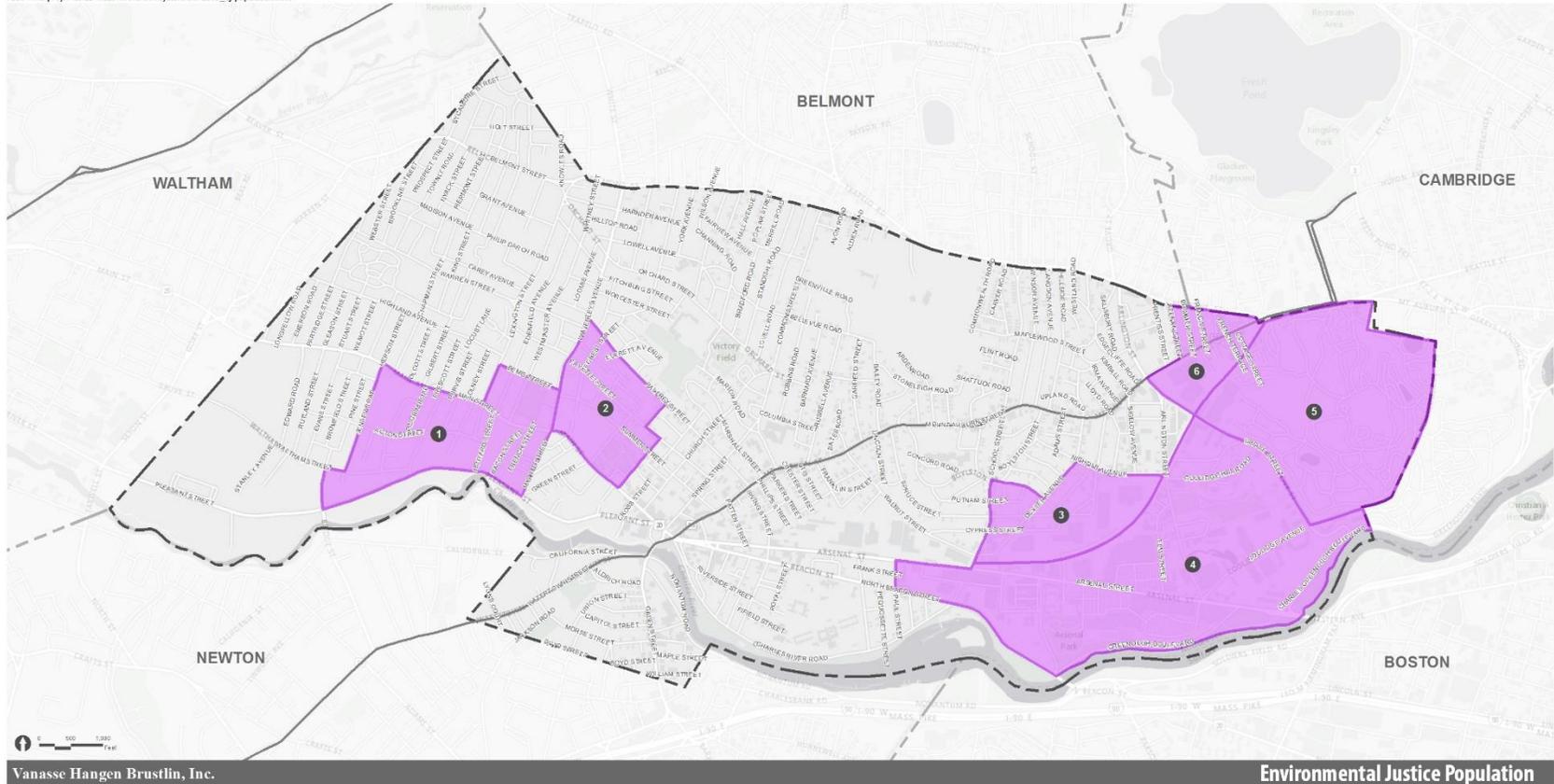
Another important aspect of Watertown’s population characteristics is the Environmental Justice Population. According to the 2010 Environmental Justice Population data provided by MassGIS, 6 census block groups, out of a total of 29 census block groups in Watertown, were identified as Environmental Justice (EJ) Populations. These EJ populations are the result of either minority or foreign born populations exceeding 25 percent of the total block group population. These EJ populations were located in two clusters in the West End and East End neighborhoods and accounted for 19.7% of the entire population in Watertown.



Environmental justice populations are those segments of the population that include high percentages of minority and low-income people that may experience disproportionately high and adverse human health and environmental impacts.



The location of each EJ population block group as well as a breakdown of the demographics for these EJ populations is presented in Figure 5 – Environmental Justice Populations.



Vanasse Hangen Brustlin, Inc.

Environmental Justice Population

Legend

 2010 Environmental Justice Populations

| Block Group ID | Total Population | Total Households | Median Household Income | Percent of Minority Population |
|----------------|------------------|------------------|-------------------------|--------------------------------|
| 1 | 1,410 | 627 | \$59,861 | 25.3% |
| 2 | 1,697 | 954 | \$57,361 | 30.5% |
| 3 | 845 | 362 | \$48,636 | 31.7% |
| 4 | 1,484 | 903 | \$68,417 | 25.6% |
| 5 | 223 | 98 | \$117,936 | 37.2% |
| 6 | 609 | 291 | \$68,021 | 26.9% |

Source: MassGIS

March 2015

Open Space and Recreation Plan Update
Watertown, MA



Figure 5 – Environmental Justice Populations

D. GROWTH AND DEVELOPMENT PATTERNS

Patterns and Trends

Due to compact size of the Town at four square miles and the already dense development, there are very limited opportunities for new development. Nearly all development occurs as a result of a reuse or rebuild of an existing structure. It is very difficult for the Town to mitigate constraints such as limited land availability and environmental concerns. Watertown's land use by zoning district consists of 56.6% residential, 5.2% business, 19.1% industrial and 19% open space/conservancy (see Figure 6 - Watertown Zoning Map). Of Watertown's housing stock in 2010, 32.1% are single family, 37% are two-family, 11.4% are three to four-family and 19.2% contain five or more units.

Since the 2005 Plan, growth has been limited mostly to residential and commercial infill development, characterized by the removal of existing structures to facilitate structures of higher density. The general land use trend indicates that commercial uses are steadily growing while industrial land is declining. Residential uses, with limited land available for new development, are expanding through redevelopment of vacant and underutilized parcels and increased density along certain corridors, most notably Pleasant Street (see Figure 7 - Watertown Comprehensive Plan Existing Land Use).

Single-family residential areas are primarily concentrated in the west end of the Town and in the upper middle portion near the Oakley Country Club. Two-family and other multi-family residential uses cover large areas in the mid-east and mid-west part of the Town, and are also distributed in the southern part of the Town on both sides of the Charles River. The distribution of residential land reflects the history of housing development in close proximity to the streetcar lines along Mt. Auburn Street, Belmont Street, and Galen Street, and later expanding to the west side of the town.

Commercial uses, on the other hand, have shaped distinctive nodes and corridors throughout the community. There are three major commercial nodes, each with unique characteristics. Watertown Square, located near the crossing of the Charles River and serving as a crossroad at the present time, is characterized by a mix of commercial and retail uses, as well as river views segregated by major roads. There is little residential development in Watertown Square, with some two- and multi-family buildings mostly located on the periphery. Coolidge Square, located on the northeast side of town, has a stronger appearance as a village center populated by neighborhood retail stores and specialty food establishments. Along Arsenal Street, the major commercial activity is dominated by the Arsenal Mall, Watertown Mall, and a number of office buildings. Anchored by these main commercial nodes, five major corridors expand to the east, west, and south of Watertown Square.

Arsenal Street, as the Town's main spine in the south connecting directly to Boston, is an important gateway to the Town and possesses the most significant potential for positive land use change. There is significant development interest in Arsenal Street that can transform it into a

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more vibrant mixed use environment for people to live, work, and play. Several proposals will likely to be advanced including a proposed hotel on the site of the former Saab dealership, the redevelopment of the Arsenal Mall into a more densely developed mixed use project (including the potential for some residential uses) that will bring the buildings closer to the street and add a number of amenities, and the redevelopment of Arsenal on the Charles by athenahealth into a campus with a mix of office and retail uses. Additionally, a proposal has been submitted and is under review by the Town to develop a site near the intersection of Arsenal and Irving Streets for an approximately 300 residential unit complex and 37,000 square feet of commercial space that could include a grocery store.

The Pleasant Street corridor is also being transformed. New zoning was adopted in 2008 to encourage a mix of uses including residential, office, research and development, hotel and retail. Since then, several major residential developments sprouted along the corridor, introducing hundreds of rental units into this part of the Town. While these new projects further stimulated redevelopment of the Pleasant Street corridor, the impacts have been controversial among various stakeholder groups, particularly local residents. Concerns include traffic congestion, decreased pedestrian safety, impeded view and access to the riverfront, and unappealing aesthetics resulting from large-scale developments perceived as being not set back sufficiently from either the street or the river, although they often are set back further than pre-existing uses. Although concerns were raised regarding impeded views and access to the river, it should be noted that visual access is limited from Pleasant Street as a result of existing buildings, trees, and topography. Also, access to the river is available, but could be enhanced by better signage.

ZONING MAP OF WATERTOWN MASSACHUSETTS

AS AMENDED: July 8, 2008

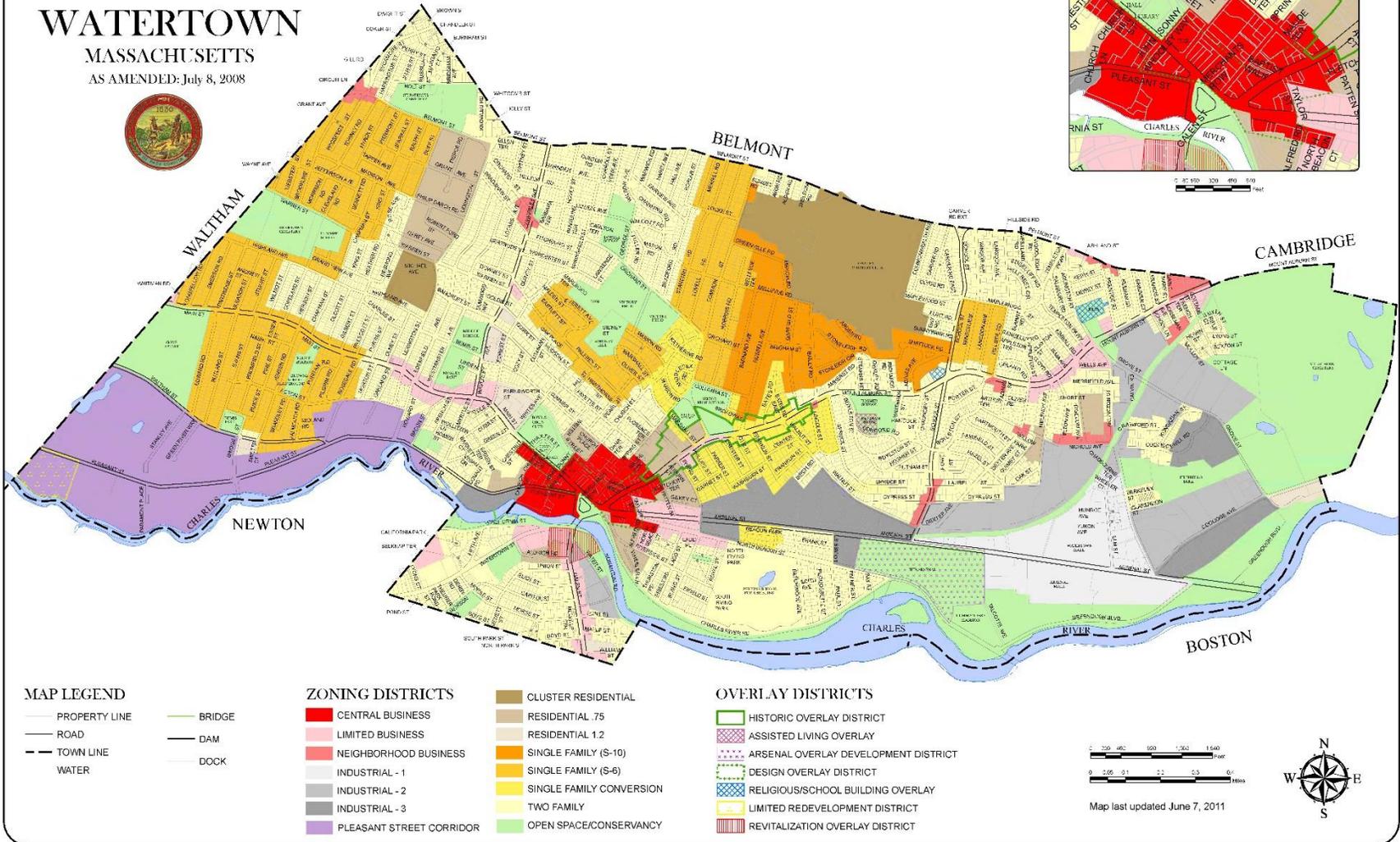
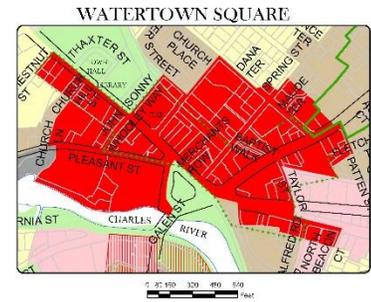
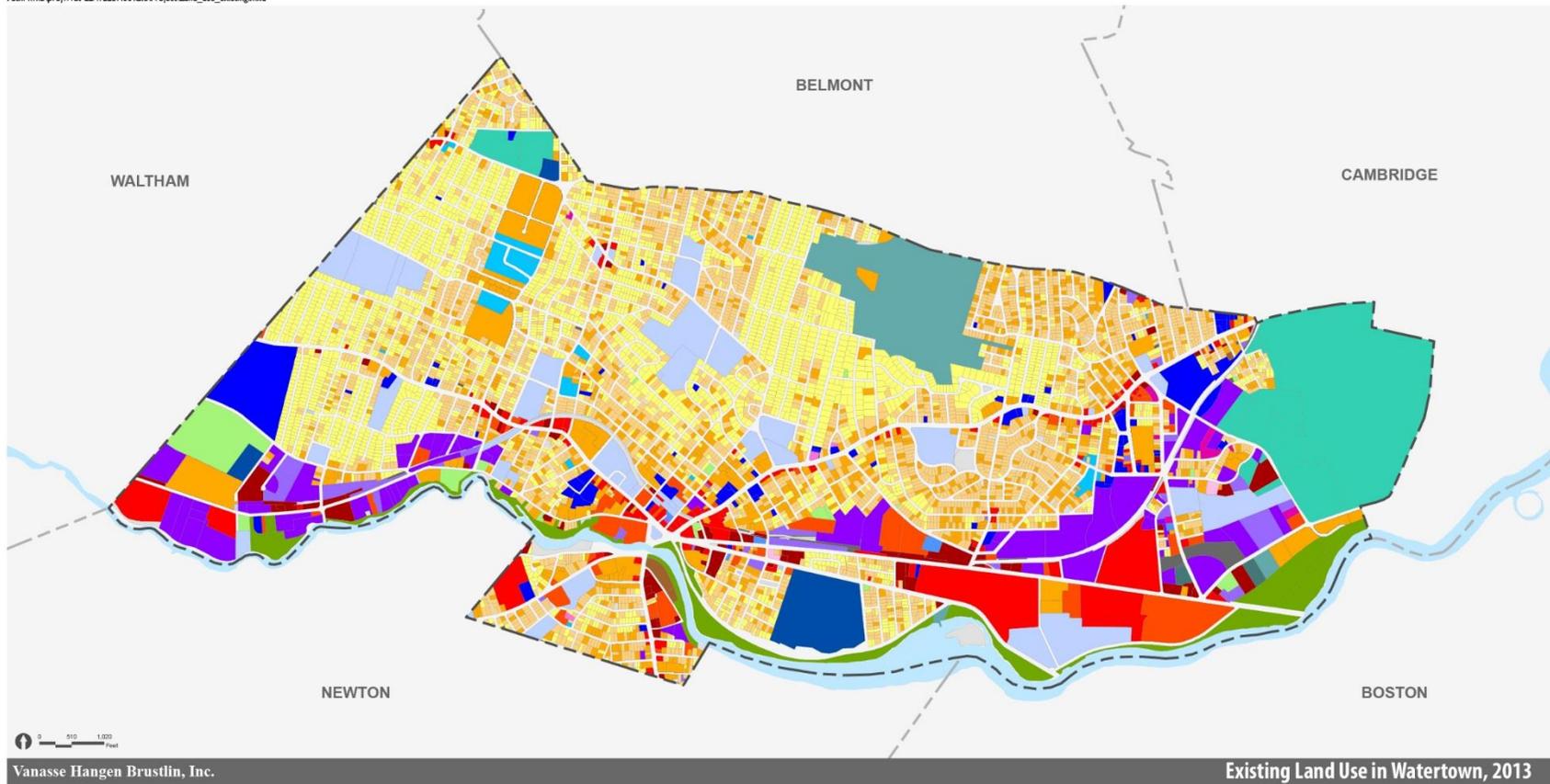


Figure 6 – Watertown Zoning Map

Watertown Open Space Plan 2015 - 2022

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Vanasse Hangen Brustlin, Inc.

Existing Land Use in Watertown, 2013

Land Use Type

- | | | | | |
|-------------------------------|-------------------------------------|---------------------------|-----------------------------|-------------------|
| Single Family | Office | Utility | Non-profit and Religious | State - Other |
| Two Family | Indoor Recreational Facilities | Public Service Properties | Cemeteries | Housing Authority |
| Other Residential | Outdoor Recreational Facilities | Child Care Facilities | Vacant Land - Developable | Town-owned |
| Retail Trade | Manufacturing and Processing | Transient Group Quarters | Vacant Land - Undevelopable | Other |
| Automotive Sales and Services | Storage and Distribution Facilities | Private Schools | State - DCR | |

Source: Watertown Assessor's Database
May 2013
Comprehensive Plan
Watertown, MA



Figure 7 – Watertown Comprehensive Plan Existing Land Use

Watertown Open Space Plan 2015 - 2022

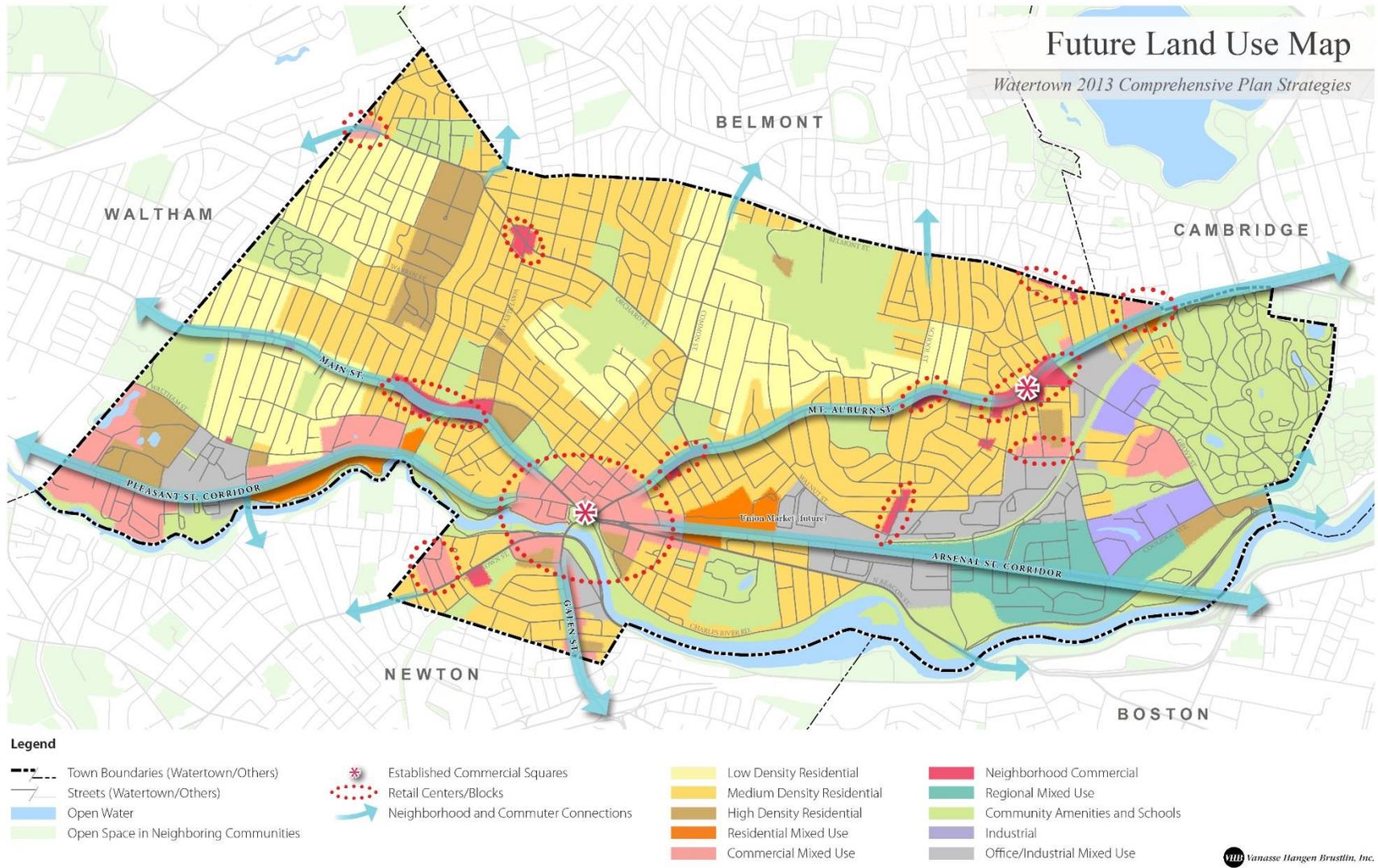


Figure 8 – Watertown Comprehensive Plan Future Land Use

The 2015 Watertown Comprehensive Plan identified that the Town's potential future development and growth should be directed toward its commercial centers and the connecting roadways or corridors, primarily Arsenal Street and Pleasant Street (see Figure 8 - Watertown Comprehensive Plan Future Land Use).

Future land use along the Arsenal Street corridor will emphasize commercial, office, and retail development along with a mix of residential uses. Development standards and design guidelines are being developed by the Town to ensure future developments align with the Town's vision for this key corridor.

The Comprehensive Plan recommended promoting mixed use and commercial development nodes or "sub-districts" along the Pleasant Street corridor in order to diversify economic activities and help define the character of the corridor. Zoning revisions were also recommended to encourage context sensitive design that respects appropriate development scale and compatibility in the corridor, as well as to promote public access and view corridors to open spaces along the Charles River waterfront.

Long-Term Development Patterns

Land use in Watertown is regulated by the Town's Zoning Ordinance and Zoning Map. There are currently thirteen general zoning districts, including seven residential districts, three business districts, and three industrial districts. In addition, the Town has six special zoning districts (see Figure 6 - Watertown Zoning Map).

The S-6 and S-10 districts allow single-family residences only and are generally located in the upper-middle and western end of the Town. Much of the land zoned for residential uses in Watertown is within the Two Family zoning district (T), which also allows single family residence. In addition, the Single Family Conversion district (SC), which is primarily located along Mt. Auburn Street close to Watertown Square, allows both single-family (by right) and conversion of single-family to two-family dwellings (by special permit). The Town also has two multi-family zoning districts (R.75 and R1.2) and a Cluster Residential district (CR) - with locations scattered in the community - that allow multi-family development by special permit.

The Town's business zoning districts include the Neighborhood Business district (NB), the Limited Business district (LB), and the Central Business district (CB). Majority of the business districts are located at or around Watertown Square, as well as at various locations and nodes along the Town's major roadway corridors such as Main Street, Galen Street, Mt. Auburn Street, etc. Additionally, there is a Watertown Square Design Overlay District, which governs façade alterations and signs in the Central Business district. The Town's three industrial districts (I-1, I-2, and I-3) are largely located in the eastern portion of town along Arsenal Street, Coolidge Ave., and Grove St., and allow both commercial and industrial uses.

Among the Town's special zoning districts, the Open Space and Conservancy District (OSC) covers the Town's open spaces and parks, including Mt. Auburn Cemetery and the Charles River Reservation. Most other special zoning districts are established to promote orderly revitalization

and infill redevelopment of residential, retail, and mixed uses in targeted areas in Town, particularly along the major corridors like Pleasant Street, Mt. Auburn Street, Arsenal Street, and Galen Street.

Figure 8 - Watertown Comprehensive Plan Future Land Use represents an elaborated vision for the long-term land use pattern in Watertown as developed through the Comprehensive Plan process. Overall, the Town intends to preserve existing residential neighborhoods, enhance key commercial centers such as Watertown Square, Coolidge Square, and neighborhood retail center and corridors, and transform the Pleasant Street and Arsenal Street corridors. It is important to note that the future land use vision does not represent wholesale changes to land use in Watertown, nor is it intended to create new zoning districts. Rather, it demonstrates that future land use change will be focused along Pleasant Street, where commercial and residential mixed use will be encouraged, and on Arsenal Street, which will transform from a large-format-retail dominated commercial corridor to a regional commercial mixed-use corridor with streetscape and public amenities enhancements. Incorporating adequate open space and recreation resources in new and infill developments, as well as enhancing connection to regional open space resources particularly the Charles River corridor, has been identified as priority strategies for the future transformation of the Pleasant and Arsenal Street corridors.

E. ANALYSIS OF COMMUNITY INFRASTRUCTURE

The Town of Watertown has an older infrastructure system consisting of almost 74 miles of roadway, 80 miles of water mains, 82 miles of storm drain lines, and 84 miles of sewer lines. When development projects come before the Town, special attention is paid to the impact of the project on the infrastructure system, and mitigation is implemented where warranted. The Town is completely served by public water and sewer and is part of the MWRA.

Watertown is served by the MBTA's public bus system with a major bus terminal in Watertown Square, and several lines to Harvard Square and Newton Centre. The bus terminal in Watertown Square is located within easy walking distance of the DCR Charles River Reservation. There are several local and express routes to destinations including Harvard and Central Squares in Cambridge, Newton Centre, the Dedham Mall, Waltham and Kenmore Station and downtown Boston. The Town is also near the I-90 Mass Pike with an interchange at Galen Street, less than a mile from Watertown Square and the intersection of Mt. Auburn Street. Several of the MBTA bus routes experience capacity issues during rush hour service.

Pedestrian facilities are widely available providing a well-connected network throughout the Town. Approximately 86 percent of all roadway miles (70 out of 81 total miles) within the Town have a sidewalk on at least one side of the road. However, there is concern that there are a number of corridors with a wide pavement cross sections that require pedestrians to cross long distances without refuge. This can have safety impacts as well as decreased efficiency at signals due to the amount of time vehicles are required to stop.

Watertown Open Space Plan 2015 - 2022

There are several current planning efforts that aim to improve bicycle facilities and provide continuous routes through Town. Currently, the Watertown Greenway; which runs between the Arsenal Street/School Street intersection and the Nichols Avenue/Arlington Street intersection is a designated off-road multi-use facility within the Town. The Community Path is a proposed multi-use path running east-west between Pleasant Street and the Watertown Greenway at School Street. As described below, the Greenway will be expanded to connect to Cambridge.

The Watertown-Cambridge Greenway is designed to provide an alternative route for cyclists and commuters utilizing sustainable modes of transportation that are traveling between the west and urban centers in Arlington, Cambridge, and Boston. It also serves as a recreational greenway and passive park with abundant native plantings and wildlife. Phase 1, an almost one mile segment completed and opened to the public in 2011, runs from School Street to the intersection of Arlington, Nichols, and Coolidge Streets and connects the Watertown Mall and local businesses to residential areas of Watertown and Filippello Park. In June 2013, the Commonwealth acquired a 4.2 acre corridor from B&M Railroad for \$1.3 million (\$829,000 of DCR's Land Acquisition funds and \$470,000 of federal funds for green transportation). The corridor is located between Grove Street in Watertown and Huron Avenue in Cambridge. The new acquisition will link the Charles River corridor, Fresh Pond Reservation, Fresh Pond Shopping Center, Alewife Greenway and MBTA station, the Minuteman Bike Path, and the Mystic River Reservation.

In a separate but equally critical transaction, the City of Cambridge acquired from B&M Railroad, a section of former railroad corridor to the north, between Huron Avenue and Concord Avenue with Community Preservation Act funds. Cambridge reserved for DCR a 14-foot-wide trail easement over the 2,000 linear feet above Huron Ave. These two acquisitions have more than doubled the length of the original greenway; expanding the greenway from 4,600 feet to 10,200 feet in length, and connecting it with many more miles of trail.

An additional connection will be established by the Watertown Community Path, which is a multi-use path that will provide pedestrians and bicyclists with a safe and easily accessible route through much of Watertown. A project spearheaded by the Town of Watertown, Watertown Bicycle and Pedestrian Committee and Watertown Citizens for Environmental Safety, the path is expected to run from the intersection of School and Arsenal streets in East Watertown, through Watertown Square and to the intersection of Pleasant and Howard streets near the Charles River. It will provide a link between the Minuteman Bikeway and the Charles River Reservation Path.

Approximately 1.75 miles in length, the preferred route roughly follows a former railroad right-of-way (ROW). It suggests a minimum 8-foot-wide two-way cycle track along Arsenal Street - a bicycle path separated from traffic by a physical barrier - and a 10-foot-wide shared-use path when not adjacent to sidewalk.

Another critical link being discussed by the Town is a connection from the Watertown-Cambridge Greenway and the Paul Dudley White Charles River Greenway. The preferred route for this connection would connect the two greenways at the spur trail connection adjacent to the Watertown Mall, cross Arsenal Street, and connect through the Arsenal Project (former Arsenal

Watertown Open Space Plan 2015 - 2022

Mall) and through the Arsenal Park. This would create a direct connection between the intersection of Greenough Boulevard/North Beacon Street and the Watertown-Cambridge Greenway.

The Paul Dudley White Charles River Bikepath is a 14-mile loop that follows both banks of the Charles River from the Museum of Science in Boston to Watertown Square, in Watertown. The pavement varies from 12 feet wide with center stripes to 4 feet wide with 6-inch drops at the edges. In some places it is barely wide enough for one bicycle to pass another safely; in others, there are separate bicycle and pedestrian paths. The Urban Parks Division of the Massachusetts Department of Conservation and Recreation (DCR) manages and maintains this path. This path should be reviewed more closely to see if enhancements can be made to meet current standards; in addition, a connection to/ from the Watertown Greenway should be made. The DCR, in cooperation with both private donors and the Town have permitted a project to improve the Charles River Path from Watertown Square to the Yacht Club.

In December 2010, Watertown was designated a Green Community by the Massachusetts Department of Energy Resources (DOER). Once a community has been designated as a Green Community DOER provides technical assistance and financial support to improve energy efficiency and increase the use of renewable energy in public buildings, vehicles, facilities and schools.

In order for Watertown to be designated a Green Community, five criteria were met:

- Criterion 1: as-of-right siting in designated locations for renewable/alternative energy generation, research and development, or manufacturing facilities.
- Criterion 2: expedited application and permit process for as-of-right energy facilities.
- Criterion 3: energy use baseline and plan to reduce energy use by twenty percent (20%) within five (5) years.
- Criterion 4: purchasing only fuel-efficient vehicles.
- Criterion 5: adopt the Board of Building Regulations and Standards Stretch Code for new construction

SECTION 4 - ENVIRONMENTAL INVENTORY AND ANALYSIS

A. GEOLOGY, SOILS AND TOPOGRAPHY

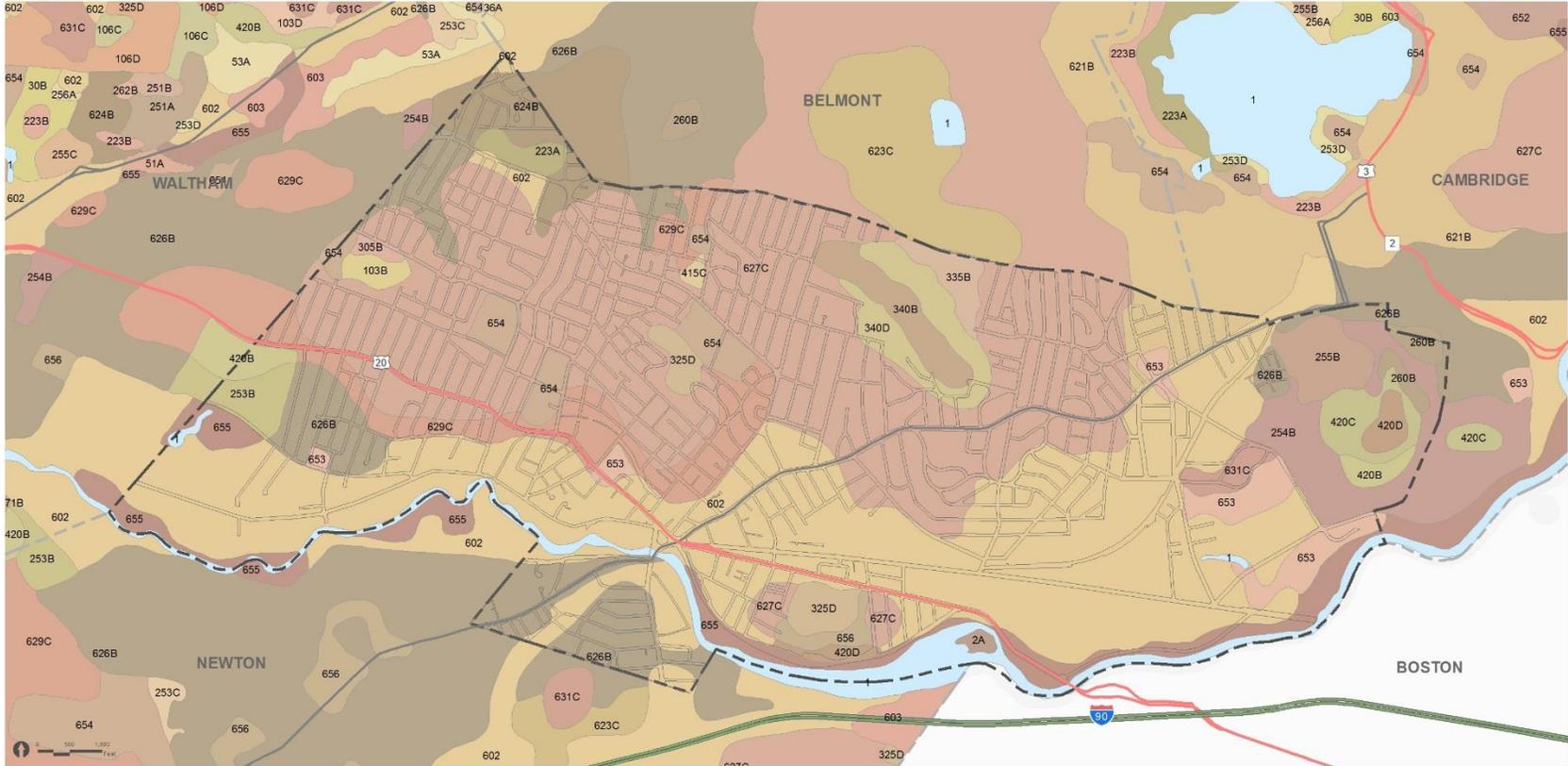
Watertown's 4.11 square miles (2,630.4 acres) are located in an area known geologically as the "Boston Basin", as is most of the Boston Metropolitan Region. The Boston Basin extends south to Weymouth, north to Medford and west to Weston. The basin is a faulted and folded terrain that extends northeasterly in Massachusetts Bay. The basin is characterized by the Cambrian Age rock formations, Cambridge Argillite and Roxbury Conglomerate. Much of Watertown is underlain by the Cambridge Argillite. The Roxbury Conglomerate outcrops extensively in Newton and the Roxbury section of Boston. Both the Cambridge Argillite and Roxbury Conglomerate have been intruded by igneous dikes and interbedded with volcanic ash from the Brighton Volcanic Complex and Lynn Volcanics.

Topographically, elevations range from 220 feet near the Oakley Country Club to less than 10 feet along the banks of the Charles River. Several prominent hills (e.g., Whitney Hill, Strawberry Hill, and Coolidge Hill) dot the landscape and provide some excellent views of the river basin below and the Boston skyline to the east. Geologically, these hills are drumlins and are composed of large mounds of glacial till (i.e., clay and rock) formed as the glaciers reshaped the landscape some 10,000 to 12,000 years ago. As the glaciers moved across New England, much land in coastal areas was pushed below sea level by the glacier's massive weight. The bedrock below the glacial till is the result of the erosion of a high mountain range that existed 350 million years ago to the west of the Boston Basin

The general topography has remained much the same since the glaciers and subsequent sea level changes occurred several thousand years ago. It would be erroneous, however, to suggest that humans have not any significant impact on the post-glacial landscape. Indeed, damming of the Charles River to harness water-power for the burgeoning industrial base of the mid to late 19th century has changed its course and altered the character of this river. No longer is it the swift-moving waterway of yesteryear. Nor are large wetlands present to provide natural flood buffers or filtration of surface runoffs back into the river. Human modifications to the land include dense residential development, paving, filling, and grading for construction and transportation. The only areas that have not been altered from the original post-glacial topography are those in which the slope is too steep to grade or the substrate too difficult to manipulate, such as Whitney Hill.

Watertown's surficial geology is composed mainly of deposits left behind by the glaciers of the last ice age, sedimentation from upland areas, and post-glacial sea level changes. Today, much of the Town can be classified as "urban land complex" (bituminous or concrete pavement) and loamy sand. Once, the alluvial soils along the banks of the Charles River provided the basis for a well-established agricultural community to thrive. Today, the last vestiges of this agricultural community exist only at the Gore Estate. A general soils map can be seen in Figure 9 – Soil Types.

Path: \\vhb\proj\Wash-LD\12257.00\GIS\Project\06RP2015_soil.mxd



Vanasse Hangen Brustlin, Inc.

Soil Types

Legend

- | | | | |
|--|--|---|---|
| 1 Water | 325D Newport channery fine sandy loam, 8 to 25% slopes | 420D Canton fine sandy loam, 15 to 25% slopes | 627C Newport-Urban Land Complex, 3 - 15% Slopes |
| 223A Scio Silt Loam, 0 - 3% Slopes | 335B Rainbow silt loam, 3 to 8% slopes | 602 Urban Land | 629C Canton-Charlton-Urban land complex, 3 to 15% slopes |
| 253B Hinckley loamy sand, 3 to 8% slopes | 340B Broadbrook very fine sandy loam, 3 to 8% slopes | 621B Scio-Urban Land Complex, 0 - 8% Slopes | 631C Charlton-Urban land-Hollis complex, 3 to 15% slopes, rocky |
| 254B Merrimac Fine Sandy Loam, 3 - 8% Slopes | 340D Broadbrook very fine sandy loam, 8 to 25% slopes | 623C Woodbridge-Urban land complex, 3 to 15% slopes | 653 Udorthents, Sandy |
| 260B Sudbury Fine Sandy Loam, 3 - 8% Slopes | 415C Narragansett silt loam, 8 to 15% slopes | 624B Haven-Urban land complex, 0 to 8% slopes | 654 Udorthents, Loamy |
| 305B Paxton fine sandy loam, 3 to 8% slopes | 420B Canton fine sandy loam, 3 to 8% slopes | 626B Merrimac-Urban Land Complex, 0 - 8% Slopes | 655 Udorthents, Wet, Substratum |
| | | | 656 Udorthents-Urban land complex |

Figure 9 – Soil Types

(S.C.S.). As evident on the Soils Map, Watertown has been highly urbanized leaving very little in the way of viable agricultural soils. Much of the wetland soil along the Charles River has been filled and built upon during the latter part of the 19th century, although a significant band of wetlands remain along the Charles River on property owned by the Department of Conservation and Recreation.

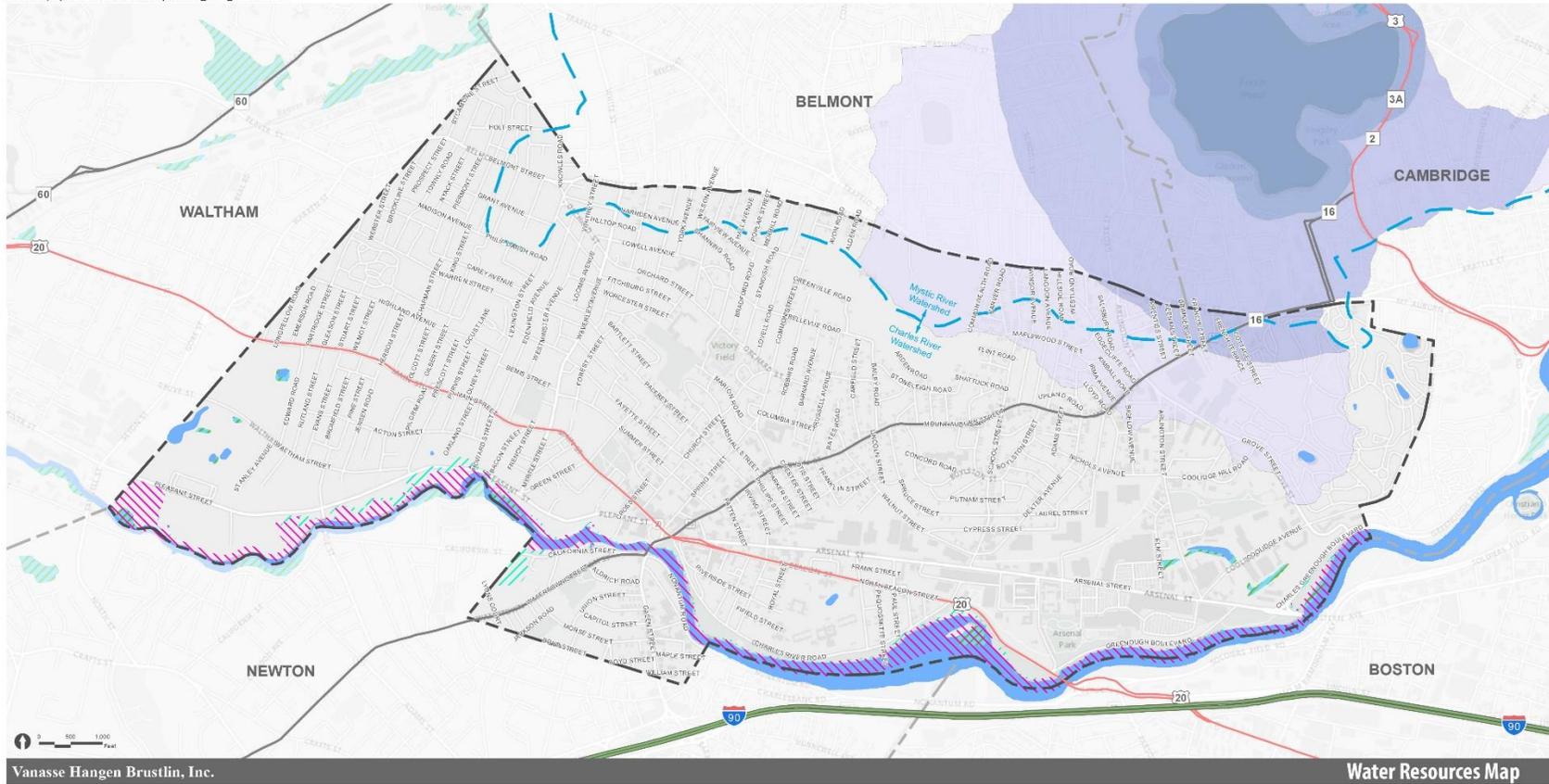
B. LANDSCAPE CHARACTER

The landscape of Watertown can best be described as dense suburban and urban. There are, however, several scenic jewels among the many of the heavily- developed neighborhoods. Of primary note is, of course, the Charles River which winds along the town's southern boundary. The DCR walkway along the Charles River west of Watertown Square provides scenic vistas for pedestrians and bicyclists and has enabled increased access to the Town's most valuable natural resource.

Several prominent hills provide vistas of the Boston skyline. The hill and tower (136') at Mt. Auburn Cemetery provides not only a spectacular vista but is situated amid Watertown's largest expanse of semi-public open space. Watertown has other drumlins including the 400-foot Whitney Hill, which is located within a 10.26 acre park. Several footpaths meander throughout the vast well-kept grounds providing a pleasant walk for visitors. Views of the Boston skyline can also be seen along Coolidge Hill Road. At the peaks of Palfrey Street there are excellent semi-urban vistas of the hills and valleys to the immediate west, into Waltham. The Oakley Country Club also provides excellent views.

C. WATER RESOURCES

Watertown is mostly within the Charles River Watershed with the exception of an area approximately 1000 feet deep along the northern boundary with Belmont (see Figure 10 - Water Resources). The Charles River forms most of Watertown's southern boundary and is considered a major part in the town's quality of open space. Indeed, as Watertown's name suggests, the connection with the Charles has played a prominent role in Watertown's rich history. Today, improved water quality has spurred an increase in recreational water sports such as rowing, sailing, fishing and canoeing; though this section of the river is still not clean enough for swimming. Storm water Management is a critical response that is important to the future success and vitality of the Charles River and is practiced and implemented with current and proposed development of infrastructure projects.



Vanasse Hangen Brustlin, Inc.

Water Resources Map

Legend

- Interstate
- U.S. Highway
- State Route
- Watertown Townline
- Townline (other)

- Surface Water
- Watershed Boundary
- DEP Wetlands

Flood Zones

- 1% Annual Chance of Flooding, with Base Flood Elevation
- 0.2% Annual Chance of Flooding

Surface Water Supply Protection Areas

- Reservoir
- SWP Zone A
- SWP Zone B
- SWP Zone C

Source: MassGIS MHC Historic Inventory

March 2015

Open Space and Recreation Plan Update
Watertown, MA



Figure 10 – Water Resources

Although Watertown relies on the Metropolitan Water Resource Authority (MWRA), for its potable water supply, well water was once plentiful and provided both drinking water and also irrigation for agricultural ventures. Artesian springs near Whitney Hill were noted in historic journals and were used for irrigation for pear groves along Orchard Street. Because the town no longer depends on groundwater for its sustenance, systematic ground-water testing has not been conducted. The extent to which groundwater has been affected by land use changes and/or industrial/ residential pollution over the past several centuries is not fully known, but testing at the Arsenal site showed significant contamination in that area.

Besides the Charles River, surface water is limited to nine small ponds. Three of the nine ponds are located on the grounds of Mt. Auburn Cemetery. All of the ponds are privately owned. Sawin's Pond, Williams Pond, and the ponds at the Perkins School, residential development off Waltham Street, and the Gore Estate are not accessible to the public. Most natural springs were incorporated long ago into the municipal storm drains; no systematic, town-wide mapping of these springs exists. Adjacent to the southern boundary there are several areas along the Charles River that pose 100-year flood hazards. The majority of potentially affected lands occur west of the Watertown Dam with four areas each several acres in size between Bacon Street and Paramount Place. The site of the Stop & Shop at the western end of Pleasant Street is 11 acres that are entirely within the 100-year floodplain. The eastern section of the Charles River is contained within its banks with the exception of the open space along Greenough Boulevard north of Arsenal Street. There are no other documented flood hazards in the town.

There are several areas where wetland resource areas are found in Watertown. Walkers Pond and two smaller ponds on the western edge of town between Waltham Street and Pleasant Street, and Sawins and Williams Ponds, in east Watertown at Arlington Street and Coolidge Road, are the two largest wetland resource concentrations in town. There are two isolated and relatively small areas of wetland conditions associated with the Charles River; the first being an unnamed island along the Charles River at Charles River Road and Beacon Street; and the other on the border of Watertown and Boston at the North Beacon Street Bridge. Virtually any activity that occurs in a wetland Resource Area is subject to the state as well as town wetlands protection requirements. This includes any removal, filling, dredging or alteration of the Resource Area. (There are rare exceptions.) In addition, activities that occur in a Buffer Zone surrounding the Resource Area (100 feet under the state requirements, 150 feet under the Watertown ordinance) are subject to requirements if they will alter the Resource Area. The town ordinance also dictates that there is no-build zone within 50 feet of the Resource Area. Even activities outside the Buffer Zone could become subject to requirements if they do alter a Resource Area.

In addition, it is believed that the Town has at least one vernal pool at the Mt. Auburn Cemetery. Vernal pools which collect water from rain or seasonal flooding, dry up in the later spring and early summer. They provide essential habitat for several species. It is suspected that there may also be undocumented vernal pools near the ponds in the west end of Watertown.

D. VEGETATION

There are no rare, threatened or endangered species within the borders of Watertown. Most of Watertown's surface consists of "urban complex" (pavement) and therefore precludes the presence of large tracts of woodlands and species associated with forested areas. Original forests were cleared of all trees long ago with the exception of isolated areas such as the Oakley Country Club where several oak trees are thought to date back to America's colonial era. The trees that dot Watertown's yards, streets, and parks are the result of plantings or natural pollination of species atop areas previously cleared for agriculture or pastures. For the most part, Watertown's contiguous woodland vegetation is limited to the Charles River basin, primarily within the DCR's network of open space. Common native hardwoods include red maple, white oak, hickory, birch, and black oak. Softwood species include white pine and hemlock. Closer to the river's shore there are numerous species of fern near the forest floor as well as cattail stands towards the far western and eastern borders of the town. Common herbaceous plants include vervain, goldenrod, asters and joe pye weed. Whitney Hill Park, the only large remnant of forested land, has approximately 6.1 forested acres with species such as beech, sassafras, white pine, hickory, white oak and maple-leaved viburnum. There are also invasive species such as Norway maple, buckthorn, garlic mustard, euonymus, and bittersweet vines (especially within DCR properties). The presence of invasives along the Charles River could impact the quality of the riverfront area and should be addressed more aggressively.

The Town should continue to work on invasive species management to enhance natural habitats of native species. Also, the Ryan Skating Rink grounds and adjacent DCR riverside vegetation should have updated landscaping and management plans considered. Currently invasive species are managed on DCR land in Watertown by volunteers from the Charles River Conservancy. Their efforts are dependent on the number of volunteers that attend scheduled events in preselected areas. Areas with heavy invasive cover should be identified and prioritized.

Many trees line the town's streets, deltas, and parks. Presently tree maintenance is conducted by the Parks Division. The median life span of an urban tree is approximately ten years, thus necessitating continual tree management and replacement. The mix of tree species in town has been altered due to the amount of road salt used during the winter. The Task Force recommends that the Town explore reducing salt use to the extent that is compatible with public safety, in order to minimize impacts on trees. The Town has created a GIS map inventory of all publicly owned street trees that contains pertinent data such as species, size, and health, etc. The tree inventory is used to forecast and coordinate tree replacement, requests and maintenance as well as assist in identifying trends that affect the long-term health of the Town's stock of urban forest.

The grounds of Mt. Auburn Cemetery cover an area of 175 acres and offer an abundance of flora both indigenous and exotic. The grounds were acquired in 1831 by the Massachusetts Horticulture Society for the creation of an arboretum and were later developed as America's first garden cemetery. Ninety-four percent of the cemetery lies within Watertown.

E. FISHERIES AND WILDLIFE

Inventory

Watertown is located in the Boston Eco-region comprised of low hills and outlying hilly suburban towns. The basin itself has low rolling topography and numerous urban reservoirs, lakes, and ponds. The flat areas were once tilled, but are now almost exclusively urban and suburban developments. Because Watertown is a mostly developed community there leaves little room for larger parcels of land required for many habitats. The only areas that provide a suitable habitat for fish, birds and other animals are the Charles River, and to a lesser degree, Mt. Auburn Cemetery, and Whitney Hill Park.

The Charles River is the site of a significant alewife and blueback herring fish run, as well as smaller smelt and shad runs. The fish population is affected by water quality issues resulting from combined sewer overflows, urban runoff and upstream pollution, but conditions have improved in recent years and are expected to continue to improve. Reptile and amphibian populations in Watertown include milk snakes, garter snakes, snapping turtles, painted turtles, red-backed salamanders, wood frogs, bullfrogs, green frogs, spring peepers, and American toads. The upper stream of the Charles River before the Watertown Dam in particular contains a variety of wetland types and dense vegetation and offers valuable wildlife habitat and nature-watching area.

The above mentioned habitat areas also help maintain a diverse population of year-round and migrant birds in Watertown. Common migrants to the area who stay during the spring and summer include the Eastern phoebe, red-eyed vireo, pine warbler, northern oriole, great crested flycatcher, tree swallow, rose-breasted grosbeak, scarlet tanager, wood thrush, and Eastern wood peewee and the American goldfinch. Permanent bird residents include ring-necked pheasants, mourning doves, eastern screech owls, great horned owls, downy and hairy woodpeckers, blue jays, American crows, white-breasted nuthatches, cedar waxwings, house finches, and house sparrows. One of the most popular destinations for bird enthusiasts during fall and spring migration is the Mt. Auburn Cemetery, but many of these birds are using and nesting in other green and wooded spaced in Watertown like the Whitney Hill.

Watertown's mammal populations include white-tailed deer, coyotes, mink, muskrats, eastern gray squirrel, red squirrel, raccoon, striped skunk, woodchuck, eastern cottontail rabbit, eastern chipmunk, northern shot-tailed shrew, meadow vole, field mouse, opossum, little brown bat and red fox.

Wildlife Corridors

As previously noted, the Charles River is the most significant wildlife corridor in Watertown that supports both fish migration and bird migration through the region. In addition, smaller scale linear open spaces like the Watertown Linear Park and the Watertown/Cambridge Greenway also serve the purpose of local wildlife movement and connection, particularly to larger waterbodies like the Fresh Pond in Cambridge.

Rare Species

As of February 2015, the Massachusetts Natural Heritage & Endangered Species Program has identified one endangered bird species and one reptile species of special concern within Watertown (see Table 1).

Table 1 – NHESP Species in Watertown, MA

| <u>Taxonomic Group</u> | Scientific Name | Common Name | MESA Status | Most Recent Observations |
|------------------------|---------------------|------------------|-----------------|--------------------------|
| Bird | Falco peregrinus | Peregrine Falcon | Endangered | 2014 |
| Reptile | Glyptemys insculpta | Wood Turtle | Special Concern | 2009 |

Species such as salmon once swam up the Charles River to spawn providing an integral component to the area’s seasonal wildlife cycles. With the damming of the river some of these indigenous aquatic species vanished and with them numerous related species. Today the river’s fish populations above the Watertown Dam include (but are not limited to) Alewife, Herring, Yellow Perch, American Eel, and Banded Sunfish. The Watertown Dam which crosses the Charles River just west of the Galen Street crossing was built sometime in the mid-17th century and was used for industry that later developed along the river corridor. The latest version of the dam is still intact and contains a fish ladder that allows native Alewife, Herring and other fish to cross and extend their habitat upstream.

F. SCENIC RESOURCES AND UNIQUE ENVIRONMENTS

Watertown is situated in the center of Boston Basin, a geographic bowl extending from the Arlington Heights in the north to the Blue Hills to the south. This area is defined by a rim of hard rock hills and full of drumlins, the smooth hills formed from deposits of glacial till, that were left from glaciers millions of years ago. Watertown has several drumlins including Mt Auburn in the cemetery from whose tower can be seen the Charles River Valley; and Prospect Hill at 400 feet, from which can be viewed the Boston skyline, and Harbor. Whitney Hill is another drumlin includes 10.26 acres of park land consisting of the most heavily forested section of Watertown.

There is no DCR designated scenic landscapes in Watertown. However, the Town is adjacent to the Charles River and is host to several unique man-made landscapes.

The Charles River is a regional historic, environmental, and recreation resource. The river is far from pristine, but the presence of a regional waterway through this community offers a significant number of scenic and historic landscapes. The Charles River Bikeway, which extends into Boston, provides relatively untouched areas of riverbank as it passes through Watertown. There are many areas east of the Watertown Dam where pedestrians and bike riders enjoy river ecosystems that have multiplied since the demise of local industry, as well as intermittent views to downtown Boston. The placid waters in this stretch of the river offer a pastoral experience available in few other urban centers.

Watertown Open Space Plan 2015 - 2022

Dominating views from the Charles River is the 38-acre Perkins School campus with its Campus Gothic style of architecture and its 180 foot tower and belfry. Another development of architectural and historical significance is the site of the former Watertown Arsenal, a 93-acre facility with a collection of large early 19th and 20th century warehouses designed in the Federal style by Alexander Parris, architect of the Quincy Market buildings. It was redeveloped into an office complex and shopping mall with adjacent community open space. The Arsenal is home to the Commander's Mansion, an impressive three-story brick Bracketed style mansion which is used for events and meetings. The building is on the National Registry of Historic Places and, with the manicured landscape with some design by the Olmsted Brothers firm, providing a significant scenic presence to the adjacent park and local area.

The river bikeway to the west of the dam provides similar scenic quality in some locations, but is subject to more variety; the early 20th century Aetna Mill complex, which has been renovated into office and lab space, is almost dominated by the presence of dilapidated late century warehouses and small industrial uses. This area provides the most opportunity for economic revitalization, open space enhancement, and future connections to the river.

Within Watertown's boundaries are three privately owned but regionally recognized landscapes, the Gore Estate, Oakley Country Club, and the Mount Auburn Cemetery that, in a relatively dense city, also serve as large swaths of open landscape providing scenery, as well as the ecological benefits of permeable surface, local habitat, sunlight, and air circulation.

The Gore Estate straddles the border of Watertown and Waltham and was the 19th century estate of Massachusetts Governor Christopher Gore. The property includes a small farm with an elegantly furnished mansion considered by architectural historians to be the most significant Federal period mansion in New England. The grounds of the estate lands were developed with respect to the contemporary ideas of Sir Humphrey Repton, one of the last great English Landscape Architects; in an informal fashion with broad lawns, open fields, clumps of trees, and inconspicuous gardens.

The Oakley Country Club was founded in 1898 on the grounds of the Otis Family Estate; Harrison Otis was the Mayor of Boston for three consecutive terms. The estate was later known for its wide variety of imported trees and shrubs; however the estate got its name from the abundance of local oak trees in the vicinity, some estimated to be nearly 800 years old. The Oakley was one of the first golf courses in the country.

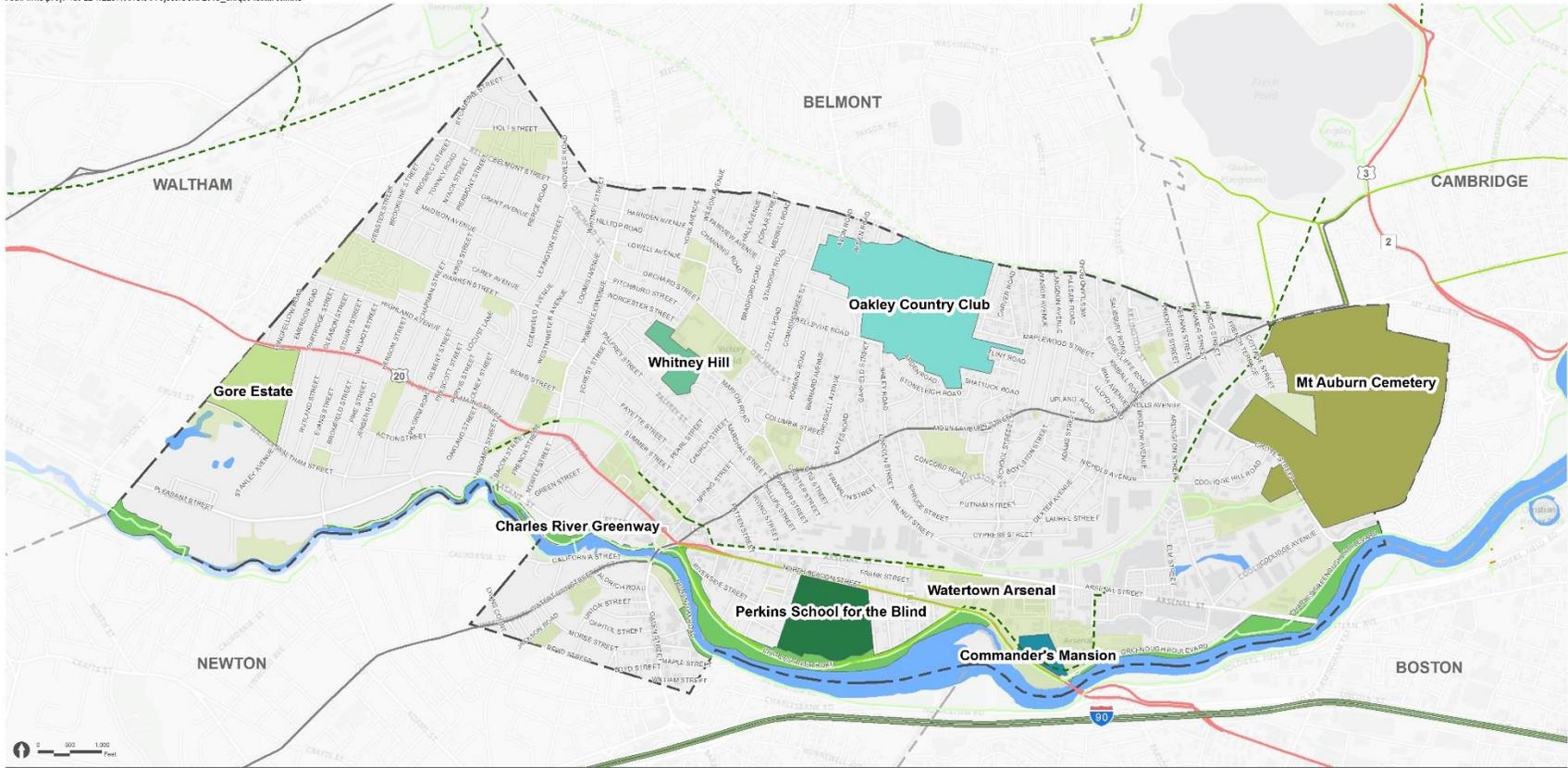
Mt. Auburn Cemetery is a National Historic Landmark is located mostly in Watertown but shares its borders between Watertown and Cambridge. Founded in 1831, it was the first large-scale designed landscape in the United States that was open to the public. It is credited as the beginning of the American public parks and gardens movement and set the style for other suburban American cemeteries. The cemetery is 174 acres and is important for both its historical aspects and its role as an arboretum. Mount Auburn has a massive and renowned collection of over 5,500 trees and includes nearly 700 species and varieties. Thousands of maintained shrubs and herbaceous plants thrive among the cemetery's hills, ponds, woodlands, and clearings. The

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cemetery contains more than 10 miles (17 km) of roads and many paths.

Watertown has many historic resources many of which have been maintained and renovated for contemporary commercial and residential uses. The Mount Auburn Street Historic District was established by the Town of Watertown in 2002 under the Watertown Historic District Ordinance. The purpose of the Historic District is to preserve the distinctive architecture reflecting the character of Watertown's rich cultural, social, economic and political history.

The Watertown Housing Authority has a garden plot available to residents on Waverley Ave and there is a shared open space/yard for their facility on Robert Ford Rd. They also have shared-use courtyards at the Nichols Ave Housing Development. Watertown Community Gardens has developed two community gardens in Watertown. One site is on Grove Street on property owned by Mount Auburn Cemetery. The other site is on Nichols Avenue and was developed in partnership with the Watertown Housing Authority. This group is actively pursuing further partnerships and is discussing potential sites to expand community gardening options within Watertown. Some sites that have been discussed include Gore Estate, Robert Ford Road affordable housing areas, DCR lands, and municipal properties adjacent to schools or within parks.



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Unique Features Map

Legend

Unique Features

- Charles River Greenway
- Commander's Mansion
- Gore Estate
- Mt Auburn Cemetery
- Oakley Country Club
- Perkins School for the Blind
- Whitney Hill

Bicycle Facilities

- Bike Lane
- Proposed Bike Lane
- Improved Path
- Proposed Path
- Unimproved Path

Major Routes, by Administrative Type

- Interstate
- U.S. Highway
- State Route

Source: MassGIS
 March 2015
 Open Space and Recreation Plan Update
 Watertown, MA



Figure 11 – Unique Features Map

G. ENVIRONMENTAL CHALLENGES

The most significant environmental challenges that Watertown faces in the next five years are primarily those of hazardous waste sites and development pressure. The Town has been urbanized for the last 100 years and is now, as many communities in the northeast, faced with opportunities for open space but also new development as entire industry sectors transform from market pressures. The southern area of town primarily along the once industrious Charles River are now constantly under pressure to be developed but also facing significant hurdles in environmental compliance.

Hazardous Waste Sites

Massachusetts Department of Environmental Protection (MassDEP) has recorded a total of 282 incidents or sites of reportable oil and hazardous material releases in Watertown as of February 27, 2015. The majority of these sites are closed sites and are located throughout the town at various locations. Among all the closed sites in Watertown, a total of 35 sites have an Activity and Use Limitation (AUL), indicating that some type of land uses are still restricted or prohibited at these locations upon completion of the site remediation efforts. These AUL sites are primarily scattered along the Pleasant Street and Arsenal Street corridors.

The GSA site located along the Charles River in the southeastern corner of town is considered to be one of the more contaminated parcels in the area. The contamination on the site has been capped and all of the structures were removed. The wetland has been re-established and the property has been transferred to DCR, which is evaluating the future installation of pathways and boardwalks to access the area. The parcel is over 10 acres in size.

Landfills

There are currently no landfills in Watertown. Filippello Park in East Watertown was once a dump and was capped and converted to open space.

Chronic Flooding

There is considerably seasonal flooding that occurs along the basins and low areas of the Charles River. This is mostly along the areas that were once very industrial and now stand to contain the most contaminants. As these sites are cleaned and redeveloped, Watertown will be looking for strategies to resolve not only Brownfield conditions but water retention and low impact as well.

Stormwater Management Recognizing the importance of the Charles River as an important regional natural resource, as well as the Town's ponds such as Sawins, Williams and Walkers Ponds, the Town is considering ways to enhance the management of stormwater runoff. The Comprehensive Plan calls for improved stormwater management, and Watertown is in the process of adopting Stormwater Ordinances that will guide the efforts of town staff, residents, developers, and local businesses. Additionally, the Town is encouraging the use of best management practices in all new construction, road work, and renovations on existing sites. Additionally, residents and local businesses are encouraged to reduce and clean up pollutants from yards, parking lots, and

streets.

To that end, the Town recently established a Stormwater Advisory Committee and in May 2011, the Town adopted an ordinance that prohibits illicit discharges into the storm drainage system. The Stormwater Advisory Committee acts as an advisory body to the Superintendent of Public Works and is charged to:

- Review and make recommendations on a new stormwater ordinance and related regulations being developed by the Town.
- Identify and advocate for stormwater funding through grants and other sources.
- Develop educational programs to increase public awareness of stormwater management.
- Assist the Superintendent of Public Works with the implementation of best practices for stormwater management.

The Town of Watertown is currently considering a Draft Stormwater Management and Erosion Control Ordinance. The ordinance establishes stormwater management standards for new development and redevelopment projects to minimize the potential adverse impacts offsite and downstream which would be borne by abutters, townspeople and the general public. It would regulate discharges to the municipal separate storm sewer system (MS4) to protect surface water bodies and groundwater. It would apply to any activities that disturbs more than 5,000 square feet of land or that cause a net increase in site impervious surface area by more than 500 square feet.

Sedimentation

Water pollution resulting from combined sewer overflows, stormwater runoff, and other sources is a cause of sedimentation in the Charles River.

Development Impact

Watertown has seen significant development pressure in recent years as other communities in the Boston metro area start to approach limits on developable land. The Pleasant Street Corridor is one of two roadway corridors identified in the Comprehensive Plan as areas that will transform. Historically an industrial corridor known for its mills and factories along the riverfront and the rail lines, Pleasant Street still shows a strong industrial character defined by light industrial uses, warehouses, and contractor yards along its length, particularly west of Bacon Street. It has long been recognized that a significant amount of land within the corridor is underutilized or vacant and the corridor itself has been generally characterized by single story buildings and parking lots. In recent years some new businesses including biotech, medical devices, and some small research and development facilities, as well as new residential development such as Repton Place and Riverbend on the Charles, have developed along the corridor. The corridor is adjacent to a number of residential areas which are primarily single and two-family neighborhoods. Most recent development along the corridor has been predominantly higher density residential, although recent projects have also included some commercial uses.

Another key area identified in the Comprehensive Plan as an area that will transform is the

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Arsenal Street corridor. Arsenal Street is the Town's main spine in the south connecting directly to Boston. It is characterized by large format retail services, shopping malls and repurposed office and restaurant spaces. The corridor functions as an important gateway to the Town and possesses the most significant potential for positive land use change. Historically an industrial corridor, Arsenal Street today has been fragmented by different types and intensity of uses along its length. Automotive sales and services dot some of the prime locations near Watertown Square and along the corridor to the east. On the northern side of the street, large tracks of industrial land lie underutilized in the western half between Arsenal and Walnut Street and in the eastern half extending along the Watertown Greenway towards Coolidge Square as well as along Coolidge Avenue. As the Comprehensive Plan envisions the Arsenal Street corridor as one of the primary locations for future commercial/retail, office, and residential mixed use development, proactive planning and design is imperative to minimize and mitigate anticipated impact such as increases in vehicular traffic as well as pedestrian and bicycling activities.

Forestry Issues

The urban forest in Watertown, like many other metro area cities and towns, has been going through a state of renewal. Just over thirty percent of the street trees in Watertown at the time of this writing are Norway maples that were planted in abundance after the hurricanes of 1938 and 1954. Unfortunately due to the conditions found within urban streetscapes such as lack of root zone growing space, compacted soils and interactions with motor vehicles and utilities, a large majority of these maples are coming to the end of their useful lives. The result is the town is losing old growth canopy and the benefits of that canopy that include shading and cooling of the streets, noise and air pollution mitigation and storm water management.

The town recognizes the importance of these benefits and since the early 1990's has had a tree planting program in place. Over the years the program has evolved with more funding available for more trees to be planted. The trees that are now planted are considered by species and diversity, site suitability and longevity. The general rule for urban environments is that no more than ten percent of a species should be planted to combat large losses of canopy because of the increase in pests and extreme weather conditions. Currently the town is planting more trees per year than it removes which will bode well for the future urban forest. This has been, and hopefully will continue to be, a successful program. As noted, trees provide exceptional benefits that an urban area cannot afford to not take advantage of.

Environmental Equity

According to Figure 12 - Open Space and Recreation Resources Inventory, the Town's open space and recreation resources are relatively distributed evenly throughout the community. Most neighborhoods in Watertown are served by and have easy access to adequate amount of open space and recreation facilities. Although a closer review also indicates that some historically higher density residential neighborhoods, such as the northwestern and northern areas of the Town adjacent to other communities, have limited access to neighborhood green spaces and play areas. Increasing the quantity, quality, and accessibility of small scale parks and playgrounds should be prioritized in these neighborhoods, as well as throughout the town, to address the environmental equity issues.

SECTION 5 - INVENTORY OF LANDS - CONSERVATION AND RECREATION INTEREST

A. INTRODUCTION

According to many of the early American landscape visionaries, and expressed well by Frederick Law Olmstead, parks are not amenities; they are necessities. Parks provide recreation, inspiration, and essential respite from the city's hardscape, bright lights, perpetual traffic, and blaring noises. Parks should be available to all residents, especially those who do not have the resources to escape to other places. This was expressed more than a century ago and is still very much if not more relevant today.

Strong evidence shows that when people have access to parks, they practice healthier lifestyles. Beyond the obvious benefits of exercise, a growing body of research shows that contact with the natural world improves physical and psychological health. The provision of green space in urban areas provides substantial environmental benefits. Trees reduce air-pollution and water pollution, help to keep cities cooler, and are an effective means to manage storm water runoff and erosion; and most parks, even in urban areas, consist primarily of pervious surfaces. City parks also produce important social and community development benefits. Studies have also shown that parks and open space increase the value of neighboring residential properties. Similar benefits occur on commercial property value; the availability of park and recreation facilities is an important quality of life factor for corporations choosing where to locate facilities.

In many ways communities assume parks will always be there, and unfortunately they are typically taken for granted. But perspectives are changing as the sensitivity to overdeveloped land and resources, as well as increased pressures on lifestyles and family is brought to the fore. According to the 2010 US Census, 80.7 percent of Americans were living in metropolitan areas, up from 48 percent in 1940. The nature of urban communities is changing with respect to diversity of population, the definition of space, including the built environment, and how the two interact. The emerging workforce is not entering the profession with the same values as the now retiring workforce. In many other communities, especially the inner core towns like Watertown, reduction of personal green space, such as lawns and backyards, is leading to more perceived value on local parks and recreation settings. More Watertown residents are expecting programmed and usable open space, as well as natural spaces, to be provided for themselves, their children and their pets; many of these uses being incompatible and requiring careful planning and design. And the scarce availability of land puts an enormous onus on identifying strategic lands and planning for acquisition years before actual implementation.

The increased costs for land acquisition, development, environmental cleanup, green building, and maintenance have placed a strain on creating new parks that will meet today's standards of useful and responsible application, i.e. green and sustainable. Towns are usually left to upgrade and maintain existing parks, many of them unable to meet the demands of an increasing population and higher residential densities. And the responsibilities in maintaining the land for

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future generations are relentlessly met with the pressures of incoming and usually needed economic and residential development. Many cities and towns have adopted cost saving methods associated with sustainable public parks and recreation. The use of natural systems that can be easily and efficiently maintained will be more valuable as energy and material costs rise. Sustainability will be imperative for parks and recreation and should serve as models of development employing best industry practices.

Watertown has borrowed some common principles from the National Recreation and Park Association (NRPA) that will allow a community like this, with diverse backgrounds and interests, to collectively agree on a common direction in achieving a desirable park, recreation and open space system. An important reason for maintaining these principles is to encourage communication and collaboration in seeking a unified approach toward implementation. These principals ensure that there is a balance between the interest of the public and private sectors; indoor and outdoor opportunities and the management of space, services and facilities. They serve as a broad baseline for the more specific Goals and Objectives that are explained in Chapter 8. These principles include:

1. All people should have access to activities and facilities regardless of interest, age, sex, income, cultural background, housing environment or handicap.
2. Public recreation should be coordinated with other community recreation opportunities to avoid duplication and encourage innovation.
3. Public recreation must be integrated with all other public services, such as education, health, water, light and roads.
4. Facilities should be adaptable to future requirements.
5. Facilities and programs should be financially feasible at all stages of development; the operation and maintenance places a greater financial burden on the municipality than the initial capital cost; more facilities require more staff.
6. Citizens should be involved in this planning process throughout all stages.
7. Planning should be a continuous process, involving constant evaluation of the recommendations and continuous effort in protecting existing lands and increasing current inventory.
8. Local, regional and state plans should be integrated.

The Executive Office of Energy and Environmental Affairs as expressed in the requirements for the Open Space Planner's Workbook promotes the retention of open space for conservation and recreational purposes. Beyond the general requirements, however, no specific standards have been established. Rather, it has been left to the local governments to decide how much land should be set aside as open space. The NRPA has established definitions for recreational land necessary to serve a given population. These definitions are oriented largely toward metropolitan areas. For example, a "neighborhood park" as defined by the NRPA would serve a population of up to 5,000 people. Therefore, as NRPA advised, Watertown established its own standards tailored to the unique characteristics of the Town, rather than adopt the guidelines verbatim.

These definitions are as follows:

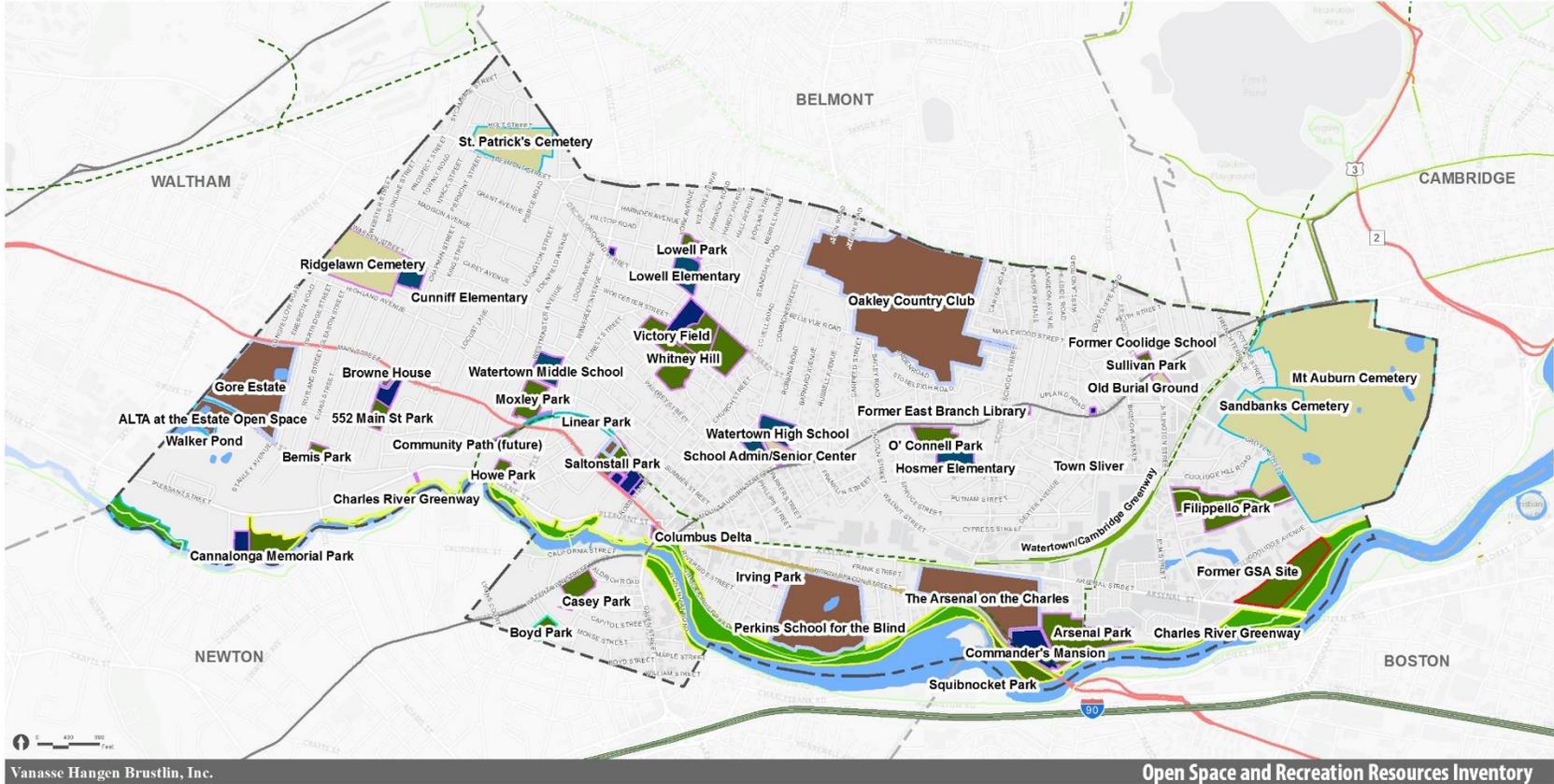
Watertown Open Space Plan 2015 - 2022

| NRPA Recreational Land Definitions | | | |
|---|---|---|---|
| Orientation | Function | Space, Design & Service Area | Example |
| Home oriented space | Should meet aesthetic qualities and accommodate informal activities of an active and passive nature, i.e. sitting, reading, gardening, sunning, children's play and family activity | Varies according to housing type; immediately adjacent or within 200 feet of each dwelling unit | Front and back yards, driveways, sidewalk, porch, balconies, workshops, play rooms, recreation rooms |
| Sub-neighborhood space or Connector | Especially important in high density areas, providing visual relief and aesthetic qualities for similar activities to those mentioned above, as well as meeting areas for small informal groups, walking, jogging and dog walking | Must be visually accessible; varies from 500 square feet to 1 acres; designed to be as flexible as possible; will serve an area of 100 yards to ¼ mile radius | Vacant lots, cul-de-sacs, boulevards, green belts, walkways, trails, play lots, rest areas, and vest-pocket parks. |
| Neighborhood space | Should accommodate neighborhood interest preferences; may include sports areas for minor leagues, outdoor skating rinks, water play as well as special events and informal passive activities | Space should be associated with an elementary school; varies from 1 to 20 acres; will serve 5,000 people within an area of ¼ mile radius | Neighborhood parks or park-school combinations play fields for baseball, soccer and football; adventure playgrounds, wading pools, neighborhood centers |
| Community space | Should accommodate social, cultural, educational and physical activities of particular interest to the community; multi-purpose, year round, day/night activities; low level competitive sports with limited spectator space | Space should be associated with a secondary school; varies from 5 to 20 acres; will serve several neighborhoods or 15,000 to 25,000 people within a radius to ½ to 1 ½ miles; accessible by walking, cycling and public transit | Community park or park-school combinations; facilities for playgrounds, recreation center, meeting rooms and library; track and field areas, sports fields, arena and swimming pool |
| City-wide or urban space | Should provide specialized facilities for the use of a wide segment of populations; will accommodate the preservation of unique historical, cultural or natural areas | Parks can be 5 to 200 acres; accessible to all residents by private and public transportation; should not exceed ½ hour driving time; should be linked to other open space | Major city parks and areas left in their natural state; beaches, trails, and picnic areas; fair grounds, civic centers and major sports facilities |
| Regional space | Specialized areas for conservation and preservation of naturalized resources; usually involves more time-consuming activities, i.e. day-long picnics and family camping | Up to 500 acres or more, serving two or more municipalities; if possible accessible by public transportation; within 20 miles or 1 hour driving of high density areas | Conservation areas, botanical gardens, regional and provincial parks; wild life sanctuaries and naturalized reserves; scenic drives and waterway systems; air fields, ski areas, zoos and museums |

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There are approximately 119 acres of public owned and publicly accessible open space distributed across the town. That is 3.7 acres per 1,000 persons, significantly less than what has been considered a standard of 10 acres per 1,000 persons (NRPA standard). And NRPA has recently established a new set of guidelines with an approach that is redefining this old notion of a national standard of 10 acres per 1,000 people, and which is now generally recognized as lacking in today's recreation and open space environment. In short, according to this comparison, Watertown is deficient in the national standard for quantity of open space. Even considering the extensive amount of DCR land (50+ acres) along the Charles River, Watertown still falls short, as do many communities in the inner core of metro Boston.

The majority of open space in Watertown is privately owned and only half of that is publicly accessible; this includes 281 acres of open space contained within Mt. Auburn Cemetery, The Gore Estate, and the Oakley Country Club, the last of which contains 80 acres with access limited exclusively to members only. The other two are private holdings but open to the public during scheduled hours. This private open space is limited in access, but also provides other benefits to the community including vast amounts of permeable and vegetative land that supports wildlife and vegetative ecologies, open terrain for better microclimates and air circulation, and scenic landscapes. The Oakley County Club is also protected by the Chapter 61B recreational land program which offers the Town the right of first refusal to purchase the land. The Town does not have any Chapter 61 or 61A land or any Conservation Restrictions.



Legend

Open Space by Property Type

- Cemetery
- Park
- Linear
- Conservation
- Municipal Building
- School
- Private

Open Space by Ownership

- Town-owned Property
- Property Owned by Other Town/City
- State-owned Property
- Federally-owned Property
- Private Property
- Other

Watertown/Cambridge Greenway

- Proposed
- Complete

Bicycle Facilities

- Bike Lane
- Proposed Bike Lane
- Improved Path
- Proposed Path
- Unimproved Path

Major Routes, by Administrative Type

- Interstate
- U.S. Highway
- State Route

Source: MassGIS

March 2015

Open Space and Recreation Plan Update
Watertown, MA



Figure 12 – Open Space and Recreation Resources Inventory

Watertown has a considerable amount of private holdings and many of the public holdings and parks are relatively small at only a couple acres in size; however, the largest and most centralized public open space in Watertown is the combination of the naturally forested Whitney Hill (which was recently expanded by over four acres to encompass 10.26 acres), and the adjacent sports complex of Victory Field. Though located slightly to the west and definitely favoring those living in central Watertown, this combination of open space is easily accessible for most residents. This combination of parks provides almost 22 acres of open space and is no more than 2 ½ miles from any residence in Watertown. Whitney Hill is permanently protected through its Article 97 status and Victory Field is zoned in the Open Space and Conservancy District, as are most of the Town's conservation and recreation properties. In order to provide more equity to residents in other parts of the Town, Filippello Park was redeveloped in east Watertown, and plans to provide more programmed open space in west Watertown is being investigated. The entirety of Watertown is no more than a mile and a half from the Charles River which makes up most of Watertown's southern border with Newton and Boston. DCR owns and manages over 50 acres of land along the Watertown side of the Charles River and provides a significant asset to the town in terms of protected usable open space.

Watertown's open space system, in both public and private properties, has varying degrees of protection from development. Presently only four municipally owned open space and recreational parcels - Arsenal Park, Filippello Park, and Saltonstall Park - are restricted from development. Whitney Hill, Arsenal Park, Filippello Park and Saltonstall Park are protected in perpetuity by Article 97 due to acquisition and improvement funds provided by what was previously known as the Urban Self-Help program and Land & Water Conservation funds, respectively. Whitney Hill was deeded to the Town as parkland. The remaining open space and recreation parcels are protected by the Watertown Zoning Ordinance (WZO) and are zoned as "Open Space Conservation" (OSC). Although development is restricted by the current zoning, they are not protected from zoning changes that would allow development. Most private parcels are restricted solely by local authority (WZO) although wetlands also have additional protection under the state Wetlands Protection Act, the Rivers Protection Act and the EPA.

Approximately 119 acres of the parkland and open space are owned by the Town. Conservation and recreation holdings account for 89 acres of that total. This open space is augmented by some large privately owned open space parcels. Mt. Auburn Cemetery is a semi-public open space offering a considerable opportunity for residents to enjoy a park-like atmosphere of a quality that few municipal governments could afford to undertake or maintain. Fortunately for the town, the very nature of a cemetery virtually, but not totally, assures a perpetual level of protection from development. Other privately owned parcels such as the Oakley Country Club and parts of the Gore Estate lack an inherent deterrent to development and thus require significant and persistent attention to ensure that this resource is not lost.

Table 2 – Watertown Conservation and Recreation Holdings

| Conservation and/or Recreation Holding | Acres | Ownership | Management Agency | Condition | Recreation Use | Recreation Type | Grants Involved | Public Access | Recreation Potential | Zoning | Level of Protection |
|---|-------|-----------|-------------------------------|-----------|---|--------------------------|---|---------------|----------------------|--------|--|
| Arsenal Park | 13.7 | Town | DPW/ Recreation Department | Fair | General Picnics, field, court athletic and recreational activities | City-wide or Urban Space | Urban Self Help \$1,165,730 acquisition \$553,000 improvement | Open | Fully Utilized | OSC | In Perpetuity (Article 97) |
| Bemis Playground | 1.9 | Town | DPW/ Recreation Department | Fair | General Field and court athletic and recreational activities. | Neighborhood Space | None | Open | Fully Utilized | OSC | Open Space and Conservancy Zoning District |
| 552 Main Street Playground (Former) Browne School Playground | 2.4 | Town | DPW/ Recreation Department | Excellent | General Field and court athletic and recreational activities. | Neighborhood Space | \$200,000_ Our Common Backyards Program | Open | Fully Utilized | OSC | Dedicated park land |
| Casey Playground | 4.2 | Town | DPW/ Recreation Department | Good | General Field and court athletic and recreational activities. Skating | Neighborhood Space | None | Open | Fully Utilized | OSC | Open Space and Conservancy Zoning District |
| Cunniff School Playground | 2.3 | Town | DPW/ Recreation Department | Poor | Recess and Physical Education Classes General Field and court athletic and recreational activities. | Neighborhood Space | None | Open | Fully Utilized | OSC | Open Space and Conservancy Zoning District |

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| Conservation and/or Recreation Holding | Acres | Ownership | Management Agency | Condition | Recreation Use | Recreation Type | Grants Involved | Public Access | Recreation Potential | Zoning | Level of Protection |
|--|-------|-----------|-------------------------------|-----------|---|-----------------------------|--|---------------|----------------------|-------------|--|
| Filippello Park | 16.9 | Town | DPW/ Recreation Department | Fair | General Water park Picnics, field, court athletic and recreational activities | City-wide or Urban Space | Land and Water Conservation Fund \$463,568.23 | Open | Fully Utilized | OSC | In Perpetuity (Article 97) |
| Howe Park | 1.6 | Town | DPW/ Recreation Department | Good | General Dog Park Court athletic and recreational activities. | Neighborhood Space | None | Open | Fully Utilized | OSC | Open Space and Conservancy Zoning District |
| Linear Park | 1.0 | Town | DPW/ Recreation Department | Good | General Walking Biking | Sub Neighborhood /Connector | None | Open | Fully Utilized | T, LB, R1.2 | |
| Lowell School Playground | 3.7 | Town | DPW/ Recreation Department | Fair | Recess and Physical Education Classes General Field and court athletic and recreational activities. | Neighborhood Space | None | Open | Fully Utilized | OSC | Open Space and Conservancy Zoning District |
| Lowell School Hill | 3.2 | Town | DPW/ Recreation Department | Good | Recess and Physical Education Classes General Field and court athletic and | Neighborhood Space | None | Open | Fully Utilized | OSC | Open Space and Conservancy Zoning District |

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| Conservation and/or Recreation Holding | Acres | Ownership | Management Agency | Condition | Recreation Use | Recreation Type | Grants Involved | Public Access | Recreation Potential | Zoning | Level of Protection |
|--|-------|-----------|-------------------------------|-----------|---|--------------------|-----------------|---------------|------------------------|--------|--|
| | | | | | recreational activities. | | | | | | |
| Moxley Playground | 4.9 | Town | DPW/ Recreation Department | Fair | Recess and Physical Education Classes General Field and court athletic and recreational activities. | Community Space | None | Open | Fully Utilized | OSC | Open Space and Conservancy Zoning District |
| O'Connell Playground | 4.7 | Town | DPW/ Recreation Department | Fair | Recess and Physical Education Classes General Field and court athletic and recreational activities. | Community Space | None | Open | Fully Utilized | OSC | Open Space and Conservancy Zoning District |
| Phillips School Playground | 0.5 | Town | DPW/ Recreation Department | Fair | N/A | Neighborhood Space | None | Open | Private/ Pre-school | OSC | Open Space and Conservancy Zoning District |
| Saltonstall Park | 5.3 | Town | DPW/ Recreation Department | Good | General Field and court athletic and recreational activities. | Neighborhood Space | None | Open | Fully Utilized | OSC | In Perpetuity (Article 97) |
| Sullivan Playground | 1.2 | Town | DPW/ Recreation Department | Good | General Field and court athletic and | Neighborhood Space | None | Open | Fully Utilized | OSC | Open Space and Conservancy |

Watertown Open Space Plan 2015 - 2022

| Conservation and/or Recreation Holding | Acres | Ownership | Management Agency | Condition | Recreation Use | Recreation Type | Grants Involved | Public Access | Recreation Potential | Zoning | Level of Protection |
|--|--------------|-----------|-------------------------------|---|---|--------------------------|---|---------------|----------------------|--------|--|
| | | | | | recreational activities. | | | | | | Zoning District |
| Victory Field | 11.1 | Town | DPW/ Recreation Department | Artificial turf – Excellent Grass field – Fair | Physical Education Classes General Field and court athletic and recreational activities. | City-wide or Urban Space | \$300,000 in donations from community members | Open | Fully Utilized | OSC | Open Space and Conservancy Zoning District |
| Whitney Hill Park | 10.26 | Town | DPW/ Conservation | Fair | Walking, Passive | City-wide or Urban Space | None | Open | Fully Utilized | OSC | In Perpetuity (Article 97) |
| Total Acres | 88.96 | | | | | | | | | | |

B. PRIVATELY OWNED PARCELS OF SIGNIFICANT INTEREST

| Name of Privately-Owned Open Space Parcels | Recreation Use | Recreation Type | Acres |
|--|------------------------------------|-----------------|--------------|
| Mt. Auburn Cemetery (Watertown portion) | Historic, Passive, Educational, | Regional | 164.0 |
| Oakley Country Club | Golf | Regional | 80.0 |
| Gore Estate (Watertown portion) | Historic, Passive, Agric. Learning | Regional | 31.6 |
| Sawins Pond and Brook | NA | NA | 3.8 |
| Walkers Pond (approximate) | NA | NA | 2.0 |
| Total Acres | | | 281.4 |

MOUNT AUBURN CEMETERY



| | |
|------------------------------|---|
| Owner: | The Cemetery of Mt. Auburn |
| Managed By: | Mount Auburn Cemetery |
| Public Accessibility: | Daylight hours only |
| Public Grants: | N/A |
| A.D.A. Accessibility: | |
| Zoning: | OSC |
| Level of Protection: | Zoning and limited wetlands protection (state, local) |

The Watertown portion of Mt. Auburn Cemetery consists of 151.1 acres of well-manicured grounds with numerous species of both indigenous and exotic tree and shrub species. The cemetery is Watertown’s largest contiguous open space and extends into Cambridge to the east. Parking is available for visitors. Disabled accessibility is accomplished via the extensive network of paved pathways and roadways. The limited traffic is very conducive for dual vehicular/wheelchair uses. Bicycles are not permitted.



Recommendation:

The Town of Watertown could be more active in promoting Mt. Auburn Cemetery as an amenity in Watertown.

THE OAKLEY COUNTRY CLUB



| | |
|------------------------------|--------------------------|
| Owner: | The Oakley Country Club |
| Managed By: | The Oakley Country Club |
| Public Accessibility: | Membership Only |
| Public Grants: | N/A |
| A.D.A. Accessibility: | |
| Zoning: | CR (Cluster Residential) |
| Level of Protection: | Ch. 61B, Zoning |

This large track of land situated in the northern bounds of the Town provides both a well maintained private golf course and limited wildlife habitat. Currently the site consists of several

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individual parcels zoned as CR (Cluster Residential). The site is surrounded on three sides by residential development and has Belmont Street as its northern boundary. Efforts to prevent the future development of the site into a multitude of housing lots and structures resulted in the site's rezoning as CR in 1989. The intention of this rezoning effort was to limit the spread of housing units across the entire site and thus preserving a significant area for open space. In 2004, the Oakley Country Club decided to participate in the Chapter 61B recreational land program which offers the Town the right of first refusal to purchase the land. In the winter of 2004-2005 the Club prohibited sledding on the course, an activity historically enjoyed by the public.

Recommendations:

- Explore whether there is a way to give greater open space protection through zoning or a conservation restriction
- Negotiate feasibility of restoring public sledding

SAWINS POND/BROOK AND WILLIAMS POND



| | |
|------------------------------|---|
| Owner: | 71 Arlington Street Trust, Trustees: Maximos Hatziliades & Savvas Iliades |
| Managed By: | The 71 Arlington Street Trust |
| Public Accessibility: | None |
| Public Grants: | None |
| A.D.A. Accessibility: | None |
| Zoning: | I-2 |
| Level of Protection: | Wetlands protection (state, federal and local) |

This private pond is located to the east of the intersection of Arlington and Arsenal Streets. The pond area is surrounded by limited vegetation (trees, grasses, and marsh grass) and is bounded to the south by Arlington Street. Currently the site is inaccessible due to a chain link fence. The eastern edge appears to have been used for roadside dumping before the fence was erected. The site is known to be contaminated (water and soil) due to previous industrial uses. The wetland classification prevents development within 150 feet of the shoreline. The site is subject to Conservation Commission jurisdiction and any development would require its approval.

Recommendations:

- Work toward a cleanup of characterized site contamination.
- The Town should consider acquisition and protection of this site for use as a wetland education area and/or as part of a continuous greenway extending from Williams Pond to the former GSA property on Greenough Boulevard.

GORE ESTATE



| | |
|------------------------------|---|
| Owner: | The Gore Place Society |
| Managed By: | The Gore Place Society |
| Public Accessibility: | Limited |
| Public Grants: | None |
| A.D.A. Accessibility: | Moderate |
| Zoning: | OSC |
| Level of Protection: | Zoning and Wetlands protection (federal, state and local) |

This 31 acre site extends along the Town’s western border with Waltham and is currently used for limited agriculture. The site has 27 acres in Watertown and 4 acres in Waltham. A large historic home is set atop a hillside towards the northern edge of the site. A small stream flows southward across a portion of the site. It is culverted at the northern and southern portions of the parcel. Development of the site is restricted by wetland areas as well as the historic nature of the estate itself. Disabled access is provided by asphalt paths that run from the parking lots down to the farm areas. Portions of this site have been considered for future public open space.

Recommendation:

- Support preservation of the use of the site as an historic property.
- Explore entering into an agreement with Gore Place to purchase the parcel between Main and Waltham Streets in the event the Gore Estate Trustees chooses to sell the parcel.

WALKER POND



| | |
|------------------------------|---|
| Owner: | Bell Properties |
| Managed By: | Bell Properties |
| Public Accessibility: | Open |
| Public Grants: | None |
| A.D.A. Accessibility: | Public access restricted |
| Zoning: | I-3 |
| Level of Protection: | Zoning and Wetlands protection (federal, state and local) |

This site is located south of Waltham Street on land at the western edge of the town bordering Waltham. Walker Pond has steep sloping banks to a small (approximately 2 acre) pond bounded by limited vegetation. The status of the soil and water quality is not known. Two other ponds are nearby. Much of the historic site was developed for residential use for 155 units and an open space restriction was part of that approval. The open space includes a loop path around the northern third of the pond and there is also a restriction for an archeological preservation area (Robert Murray Farmstead Complex). The area preserved through the Special Permit Approval is 2.96 acres. A portion of the remaining site is still potentially available although it has some use restrictions. The remaining approximately 7 acre remnant parcel has potential access to the south

end of Walker Pond, but public access is not allowed at this point. This part of the site should be considered for potential public open space acquisition.

Recommendation:

- Explore ways to make the entire pond and remaining area of surrounding land available as public open space. The undeveloped portion of land encompasses approximately 7 acres and currently has an Activity and Use Limitation and has limited access and no street frontage and should be considered for preserved open space.

WALNUT STREET LINEAR PARK



| | |
|------------------------------|--------------------------|
| Owner: | Arsenal View LLC |
| Managed By: | Arsenal View LLC |
| Public Accessibility: | Yes |
| Public Grants: | None |
| A.D.A. Accessibility: | |
| Zoning: | I-3 |
| Level of Protection: | Zoning, Permit Condition |

A linear park was constructed at the rear of the Lexus dealership site on Walnut Street. The landscaping has greatly enhanced the appearance of Walnut Street and offers restful spaces for residents and nearby workers. The development of this parcel was contingent on providing passage along the Arsenal Street side of the property. This path is in place awaiting the state funded path beginning on the opposite side of School Street. The Bicycle and Pedestrian Committee anticipates the extension of a path connection on private property heading west towards Watertown Square.

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C. PUBLICLY OWNED PARCELS (INCLUDING TOWN, PARK & CEMETERY ACRES)

| Name | Acres |
|--|-------|
| Parks & Playgrounds | |
| 1. Arsenal Park | 13.7 |
| 2. Bemis Playground | 1.9 |
| 3. 552 Main Street | 2.4 |
| 4. Casey Playground | 4.2 |
| 5. Cunniff School Playground | 2.3 |
| 6. Filippello Park | 16.9 |
| 7. Howe Park | 1.6 |
| 8. Linear Park | 1.0 |
| 9. Lowell School Playground | 3.7 |
| 10. Lowell School Hill | 3.2 |
| 11. Moxley Playground | 4.9 |
| 12. O'Connell Playground | 4.7 |
| 13. Phillips School Playground | 0.5 |
| 14. Saltonstall Park | 5.3 |
| 15. Sullivan Playground | 1.2 |
| 16. Victory Field | 11.1 |
| 17. Whitney Hill Park | 10.26 |
| Other Town Properties | |
| 1. Administration Building Landscaping | 0.3 |
| 2. Commanders Mansion & environs | 7.0 |
| 3. DPW Yard | 1.0* |
| Deltas | |
| 1. Carver Road Delta | 0.25* |
| 2. Church Street Park Area | 0.25* |
| 3. Columbus Delta | 0.69* |
| 4. Common Delta | 0.25* |
| 5. Irving Park | 0.5* |
| 6. Knowles Delta | 0.25* |
| 7. Shattuck Road Delta | 0.25* |
| 8. School and Belmont Streets Delta | 0.25* |
| 9. Templeton Parkway Delta | 0.25* |
| Other Town Maintained Open Space | |
| 1. Goldie Street (left side off Waverley Avenue) | 0.25* |
| 2. Carey Avenue @ King Street (right side of Lexington Street) | 0.25* |
| 3. Ladd Place | 0.25* |
| 4. Mt. Auburn and Arsenal Streets (weed and prune shrubs) | 0.5* |
| 5. Arsenal and N. Beacon Streets (weed and prune trees and shrubs) | 0.5* |
| 6. Church Street @ Tresca's | 0.25* |

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| Name | Acres |
|--|---------------|
| 7. Nichols Ave. between Arlington Street and end of meters | 0.25* |
| 8. Royal Street at Multi-Service Center | 0.5* |
| 9. Rosedale at Acton Street (cut all four corners) | 0.5* |
| 10. Pleasant Street at Waltham Street (trim back ten feet at corner) | 0.5* |
| 11. Ridgelawn Cemetery (northwest Watertown) | 17.58 |
| 12. Common Street Cemetery (central Watertown) | 2.5 |
| 13. Arlington Street Cemetery (east Watertown) | 1.24 |
| 14. Green Myrtle and Pleasant Streets | 0.25* |
| 15. Former rail land at Howard to Main Street | 1.29 |
| 16. Bancroft and Waverley Avenue | 0.25* |
| Total Acres | 118.77 |

*approximate acreage

Town Owned Park and Recreation Land by Site

Each site summary below includes a brief description of the park or playground, adjacent land uses and street frontage, and the facilities that are provided, including provision for parking. Park elements and structures (paving, benches, play equipment, tables, etc.) and plantings were visually appraised to assess the overall condition of each park or playground and its level of functioning. Key issues at each site are identified to provide a context for evaluating the playing fields. Each park and recreational area was assessed for ADA Accessibility. The Watertown Commission on Disabilities provided the funding for the ADA Access Self-Evaluation report, which was conducted by Adaptive Environments. Listed in each section below are the ADA minimum compliance recommendations for each site. The full ADA reports are very extensive, and are included in the report, *Watertown Open Space and Recreational Areas: Review for accessibility and human centered design characteristics*; Produced by Adaptive Environments. Many of the ADA issues associated with the parks have been inventoried in this section. It is the intent of the Town of Watertown that ADA issues be at the foreground of all park development and improvements in the future. To this end, a portion of the inventory referenced above is included in this section.

Field Conditions Survey

Athletic fields and playgrounds make up a significant portion of Watertown's recreational areas. Many of the playgrounds function as school recess areas and extra-curricular sports fields. The forestry and parks foreman of the Watertown Department of Public Works directs the sports field maintenance of each area. Each field is managed in accordance with the Integrated Pest Management (IPM) program developed by the forestry and parks foreman. The IPM plan ensures compliance with the Children's Protection Act of 2000, effectively eliminating pesticides applied to the fields while school is in session. Compliance with the Act presents considerable challenges to maintaining sport playing surfaces free of weeds, disease and insects. The primary function of turf fields in school athletics is to provide a quality playing surface while reducing the potential for injury to young athletes. The DPW has maintained the turf in compliance with the Children's Protection Act.

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Turfgrass Environmental of Longmeadow, Massachusetts assessed each field on September 1, 2005. A turf quality rating system of 1-9 was used to assess individual components of turfgrass quality. The following chart describes the rating system used in this report. When appropriate, specific recommendations for turf maintenance have been discussed.

Table 3 – Athletic Field Rating System

| Characteristic | Rating | Comments |
|----------------|-----------|--|
| Turf Density | 1-9 | Looks at overall turfgrass quality. 9=Excellent, 1=very poor, no turf. |
| Thatch | thickness | Optimum thatch layer for athletic fields is ½”. |
| Weeds | 1-9 | Assessment of weed species/population. 1=few to no weeds, 9=excessive weeds present. |
| Compaction | 1-9 | Assessment of subsurface hardness or compaction. A rating of 5 would be optimum for athletic fields. |
| Tensile | 1-9 | Assessment of turfgrass structure and resistance to tearing. A rating of 5 would be optimum for athletic fields. |
| Disease | As noted | General observation of turf disease signs and symptoms at the time of inspection. |
| Insects | As noted | General observation of damaging insect signs and symptoms at the time of inspection. |

Source: Turfgrass Environmental

ARSENAL PARK



| | |
|------------------------------|---|
| Address: | Behind 485 Arsenal Street |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | Self Help \$1,165,730 (acquisition) & \$553,000 (improvement) |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | In Perpetuity (Article 97) |

Description:

Arsenal Park is a large multi-purpose park located behind the Arsenal Mall along Arsenal Street. The park encompasses approximately 13.7 acres (7.6 active and 6.1 passive). To the south of the park are Greenough Boulevard and the Charles River. The park is constructed on property that the U.S. Arsenal once used for various manufacturing purposes. Equipment in the tot lot was installed in 2001 and a poured in place rubberized surface was put under the equipment. The facility has 2 basketball courts, 1 bocce ball court, 6 tennis courts, one multi-purpose soccer/softball field, an open air amphitheater, a skateboard area (former basketball court converted in 2003), a hopscotch area, four square area, 1 street hockey/whiffle ball court, 1 two-sided Tennis

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Bang Board, 1 volleyball court, a sprinkler park and a cross-country running course. Picnic areas are provided with grills, park benches, picnic tables, and two pavilions. Bicycle racks were added in 2012. In 2013, 8 picnic tables and 4 grills have been replaced (total now is 19 picnic tables and 10 grills), as well as additional plantings. A fence was installed on the south side of the park near the tennis courts. The site is accessed via a drive to the west side of the Arsenal Mall. Parking is centrally located on the site.

The grounds of the town-owned Commander's Mansion had design work completed by the Olmstead Brothers firm.

Activity:

Picnic events, youth and adult softball, youth soccer, basketball, tennis, street hockey, and skateboard.



Conditions Assessment and Key Issues:

- All courts: basketball, tennis, street hockey and skateboard need resurfacing.
- Bocce court needs renovation

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- Workout stations need to be removed and new ones installed.
- Remaining lighting poles need to be removed, new lighting installed.
- Bench seating on walkways and adjacent tennis / basketball courts need refurbish.
- Fencing between tennis courts and arsenal mall needs to be replaced.
- Amphitheater needs resurfacing and trimming
- Backstop on the softball field needs to be replaced
- Water park needs to be renovated.
- Fix water fountains

Field Conditions: (See Section 7(c)(2)(1) for a description of the field rating system)

Arsenal Park is irrigated. Fertilization needs are based on the results of annual soil fertility tests.

| Characteristic | Rating | Comments |
|----------------------|-----------|--|
| Turf Density/Quality | 5 | Excessive wear/damage |
| Thatch | <1/2 inch | Optimum |
| Weeds | 8 | Significant cover is clover/crabgrass and chickweed |
| Compaction | 5 | Optimum for athletic fields |
| Tensile | 5 | Optimum for athletic fields |
| Disease | | Significant turf loss from summer patch. The disease is not active at this time. |
| Insects | | None observed |

ADA Minimum Compliance Recommendations:

Pedestrian route from Arsenal Street through the mall to Arsenal Park

Currently, there is no continuous sidewalk from Arsenal Street and across the mall parking to Arsenal Park. Where sidewalks exist, curb ramps do not.

Minimum Compliance

- Connect facility to public way.

Parking Area

Sidewalks between areas lack required curb ramps.

Minimum Compliance

- Install curb ramps.

Curb ramps at each end of the parking lot

Curb ramps have slopes and vertical lips that are difficult to traverse for baby carriages, wheelchairs and other wheeled devices and that may cause tripping. The catch basin grate with its wide openings parallel to the path of travel is a hazard for cyclists and people with disabilities.

Minimum Compliance

- Repair or replace curb ramps, eliminate the vertical lips.
- Replace grate with openings no more than 1/2" in the direction of travel.

Parking Spaces

No parking spaces are accessible.

Minimum Compliance

- Establish accessible parking spaces, including at least one for vans.

Benches at turn around

People using wheelchairs or scooters cannot sit alongside their companions because there is less than 3' wide clear and level space between them that connects to the accessible path.

Minimum Compliance

- Create a paved clear space between benches. 50% of the benches should have 50% arms.

Ball field bleachers

People who need an accessible route cannot currently reach the bleachers.

Minimum Compliance

- Establish accessible route to bleachers.

Benches mounted on wall at turn around

Benches are too low for adults to sit on and too wide for leaning back.

Minimum Compliance

- Raise benches to 17"H. Add backs or reduce width of benches to between +/- 22"

Walkway from turn around to courts

Walkways have large cracks and have vertical displacements greater than 1/4" that are tripping hazards.

Minimum Compliance

- Repair accordingly.

Gate into tennis courts adjacent skate park

Gate opening is less than 3' wide and lacks a solid surface at bottom of the push side of gate so that a person using a wheelchair will get their foot rests caught in the mesh.

Minimum Compliance

- Make gate accessible.

Benches at north edge of tennis court/skate park

Low hanging branches are a problem. The benches are in a state of disrepair.

Minimum Compliance

- Repair benches.
- Head up trees to at least 8' so that when wet, they do not hang below 80".

Walkway along north edge of courts

The walk is quite lengthy but lacks benches for resting or to watch tennis. Walkways have large cracks and have vertical displacements greater than 1/4" that are tripping hazards.

Minimum Compliance

- Repair accordingly.

Middle gate to courts

Gate opening is less than 3' wide and lacks a solid surface on the push side so that a person using a wheelchair will get their foot rests caught in the mesh.

Minimum Compliance

- Make gate accessible.

Bocce Court

For people with disabilities, no access is provided into the court.

Minimum Compliance

- Make court accessible.

Gate at tennis court adjacent bocce court

Latching mechanism (a chain) is not usable by a person with poor dexterity.

Minimum Compliance

- Provide an accessible latching mechanism.

Public Restrooms

While the restrooms are frequently used, they are not accessible.

Minimum Compliance

- Replace door lock which is not operable with a closed fist;
- Replace door handle (left door) which appears to be worn or broken;
- Replace sink so that it does not protrude into clear space;
- Relocate the grab bars which are now too high;
- Relocate side grab bar which now is 50" from back wall (54" is required); and Relocate toilet which now is mounted to far from the side wall.

Picnic area at basketball courts

Walkways have large cracks and have vertical displacements greater than 1/4" that are tripping hazards. Catch basin grate has openings that are too large and could cause tripping or catch a wheel.

Minimum Compliance

- Repair all vertical displacements.
- Replace grate with 1/2" maximum holes.

Path from picnic area at basketball courts

Walkway has large cracks and has vertical displacements greater that are tripping hazards.

Minimum Compliance

- Repair accordingly.

Picnic and grill area below basketball courts

While these picnic facilities seem to be used frequently, a person needing an accessible route or tables could not utilize them.

Minimum Compliance

- Establish an accessible route to one table and grill at this table.
- Table tops should extend a minimum of 19" clear space from the leg, have 30" of clear width and be at a height of not less than 27" to the underside of the table top.
- Concrete pads should extend beyond their current dimensions to provide a stable seating area at the ends and a path around the table.
- Adjacent soil should be level at or slightly above the concrete pads to minimize vertical displacement and tripping hazards and allow access to table ends.

Path toward and above amphitheater

Walkway has debris on it from erosion and the edge is eroding. At other points, the walkway has sunken portions or large cracks that exceed 1/2".

Minimum Compliance

- Repair and maintain the path and benches accordingly.

Greenough Blvd

This worn path leads to the unofficial crossing to the parking area at the edge of the Charles River.

Minimum Compliance

- Create an accessible route to corner.

N. Beacon (RT 20), Greenough Blvd. and Arsenal Ct.

A person requiring an accessible route would not be able to cross. The existing crosswalks do not follow pedestrian desire lines.

Minimum Compliance

- Install curb ramps and crosswalks.

Gate to Arsenal Court Drive

The gate to Arsenal Court Drive (to the Commander's Mansion) appears to be used frequently but is not accessible.

Minimum Compliance

- The step should be ramped and gate left permanently open so that it does not block access

Concrete walk leading to main parking lot area

The concrete walk appears to be recently poured. Unfortunately, this section is breaking up and its joint has some vertical displacement.

Minimum compliance

- Repair accordingly.

Additional Recommendations:

1. Since the field areas were not designed for intensive field sport use, a vigorous maintenance and management plan should be implemented to prevent field degradation.
2. Repair cracks in the court area and color seal the court area
3. Replace wood boards on benches and tables where needed
4. Resurface the Bocce court
5. Take remaining light poles down
6. Add electrical outlet outside the bathroom building
7. Add electrical outlets at the amphitheater area, along

- with additional seating, a stage backdrop and a wooden noise buffer.
8. The Open Space Committee notes that the amphitheater could be utilized as an adjunct theater in relation to the Arsenal Center for the Arts
 9. The Town should explore enlarging the field to allow its use for soccer
 10. Plan for future multi-use path from Charles River to the state funded path via the park or Talcott Avenue and Arsenal Park access road, which would cross Arsenal Street to Cambridge Aqueduct right of way.

BEMIS PLAYGROUND



| | |
|------------------------------|--------------------------------------|
| Address: | Corner of Bridge and Waltham Streets |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | Zoning |

Description:

The playground is approximately 1.9 acres (all active recreation). Stop & Shop donated \$60,000 to rebuild the tot lot and install new benches and tables in 1996-1997. A new overhead track rider was installed in 2000. The tot lot received a new rubberized surface in 2005. A batting cage was constructed on the west side of the park in 2001. Street parking is available; there is no on-site parking. The playground serves as both a neighborhood tot lot and as a little league baseball field. A basketball court and street hockey court are installed at the western edge of the lot. An irrigation system was added to the park in 2002. A bike rack was installed in 2012. Street and sidewalk reconstruction was completed in 2014.

Activity:

- Little League Baseball
- Local Active and passive recreation
- Recreation Summer Parks Program

Condition Assessment and Key Issues:

- Courts: basketball / street hockey needs resurfacing
- Batting cage needs reconstruction
- Baseball backstop needs replacement
- Bench fences need replacement
- Drinking fountain needs repairs or replacing

Field Conditions:

The Bemis Playground is irrigated. Fertilization needs are based on the results of annual soil fertility tests. The field shows good drainage.

| Characteristic | Rating | Comments |
|----------------|-----------|---------------------|
| Turf Density | 9 | Excellent |
| Thatch | <1/2 inch | Optimum |
| Weeds | 2 | Some Clover Present |
| Compaction | 5 | Optimum |
| Tensile | 5 | Optimum |
| Disease | | None observed |
| Insects | | None observed |

ADA Minimum Compliance Recommendations:

Main gate at Buick and Bridge Streets
 Though the entry is used frequently, it is not formalized and has many obstacles.
Minimum Compliance

- Establish an accessible entry with curb ramp to street.

Field heading toward ball diamond
 Once within the facility, there are no accessible routes to reach various elements.
Minimum Compliance

- All elements must be connected by an accessible route.

Gateway along Bridge Street
 The gateway and its connection to the street have not been formalized. The gate could connect to a new accessible route
Minimum Compliance

- Establish an accessible entry, including a curb ramp to the street.

Bleachers and Benches
 The bleachers seem to move each time the field is mowed and they are not always oriented to the ball diamond. Neither the bleachers nor bench are on an accessible route or offer accessible pull off spaces.
Minimum Compliance

- Establish accessible routes to the features.

Ball Diamond
 Currently, the ball diamond and its dug-out seating areas are not easily accessed by people with disabilities. There is significant erosion at the ends of the concrete dugout pads resulting in 1”+ tripping hazard. People with disabilities cannot traverse the area behind the backstop because the concrete does not extend around the back stop. Instead the concrete gives way to a loose muddy surface approximately 1-2” below the pad. Further, the

yellow gear box’s present location narrows the walkway.
Minimum Compliance

- Repair surfaces and repair vertical displacements.
- Install a flush accessible surface.

Path from dugout to the corner of Evans and Waltham Streets
 From the ball diamond and dug-out, there is no accessible route to reach the entry gate (at the corner of Evans and Waltham Sts), water fountain and the batting cage.
Minimum Compliance

- All elements shall be located on an accessible route.

Corner of Evans and Waltham Streets
 People with disabilities cannot access the water fountain, gear box or trash can. Further, many people with disabilities cannot enter the facility at this entry. There are no curb ramps to the crosswalk and the surfaces are uneven.
Minimum Compliance

- All elements shall be located on an accessible route.
- Establish an accessible route into the park including curb ramps along the exterior sidewalks.

Walkway behind batting cage to ball courts
 Though heavily used, the walkway would be quite difficult for many people with disabilities to traverse. They cannot access the batting cage and because of the asphalt beam, accessing some of the courts is impossible. There is also evidence of drainage problems
Minimum Compliance

- Establish an accessible route to the courts as well as into the batting cage.

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Basketball Court

Benches are in a washed out area.

Minimum Compliance

- All elements shall be located on an accessible route.

Entry at Evans and Buick Streets

People appear to utilize this entry heavily though it is not formalized with an accessible route.

Minimum Compliance

- Establish an accessible entry, including exterior sidewalk, crosswalk, and curb ramps.

Play Structure

While the play structure and adjacent tables are not located on an accessible route and the surface at the structure is not yet accessible, the structure has several notable features that should be kept: the slides are light

colored and face in a northerly direction - each helps to keep the surfaces cool despite a stark lack of shade.

Minimum Compliance

- Create an accessible route to and throughout the play structure and picnic tables

Additional Recommendations:

1. Plant additional trees to serve as both a natural buffer between the neighborhood and the teams playing baseball and to provide shade for summer patrons and picnickers
2. Replace backstop
3. Color seal court area
4. Add handicapped parking and access ramps
5. Add bathroom facilities
6. Repair erosion at west side of basketball court

552 MAIN STREET PLAYGROUND (BROWNE SCHOOL PLAYGROUND)



| | |
|------------------------------|-------------------------------|
| Address: | Acton Street at Brandley Road |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | Zoning |

Description:

This playground is now referred to as the 552 Main Street Playground until it is formally renamed. The playground behind the Watertown Police Department serves as a neighborhood recreation area and as the playground for children attending the private elementary school housed in the building. The school is at the top of a hill with the playfield area sloping down behind the school towards Acton Street. A small T-ball field area is located at the southern edge of the site at Acton Street and is used for baseball and softball. The slope is less severe as one moves away from the building. The site is bounded on both sides by residential structures resulting in neighbor complaints about improper use of the field.

A major renovation of the park occurred in 2014. The improvements included a new tot lot, new hard court surface, two picnic tables, gazebo, rain gardens, bike rack, and contemplative area. The playground is now handicapped accessible and a new handicapped parking lot was constructed. Additionally, 21 new trees were planted. This project was funded through a grant through the Our Common Backyards Program.

Activity:

Local active and passive recreation
T-ball

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Condition Assessment and Key Issues:

- Install irrigation system for grass areas
- Install water fountain

Field Conditions:

552 Main Street playground is not irrigated. Fertilization needs are based on the results of annual soil fertility tests. The excessive wear from recess activities and sports programs reduce the turf quality on this field. Fall or annual core aeration and seeding is recommended.

| Characteristic | Rating | Comments |
|----------------------|-----------|--|
| Turf Density/Quality | 2 | Poor |
| Thatch | <1/2 inch | Additional thatch development will reduce wear and weed competition. |
| Weeds | 9 | High density of weeds. Clover/crabgrass |
| Compaction | 9 | Excessive activity on field. Very compacted |
| Tensile | 2 | Weeds and compaction reduce tensile strength |
| Disease | | None observed |
| Insects | | None Observed |

ADA Minimum Compliance Recommendations:

Walkway from Acton St to the former Browne School

The path, in its current form, exceeds 5% grade in many areas but does not have level landings and resting areas.

Minimum Compliance

- *Regrade path to ensure that it is consistently below 5%. Take up the additional vertical rise with several ramped sections with 60" landings at top and bottom.*

Entry gate from Acton St.

The slope at the gate exceeds 12.5%. The gate is not accessible, swings into the sidewalk and does not open completely.

Minimum Compliance

- *Replace walkway with a 1:12 ramp with handrails.*
- *Remove the existing gate or replace it with an accessible gate. On the pull side, the gate must have a 60" level landing and at least 18" clear space alongside.*

Sidewalk along Acton St.

The sidewalk is in poor condition, is narrow and has numerous tripping hazards. In some areas, sections of broken rusty fence protrude into the path of travel.

Minimum Compliance

- *Replace the entire sidewalk with a new sidewalk 5' wide.*

Acton St and Brandley Rd

The intersection does not have curb ramps or crosswalks to reach the park.

Minimum Compliance

- *Install curb ramps and crosswalks*

Ball Diamond

Presently, the ball diamond and its dug-out seating areas are not easily accessed by people with disabilities.

Minimum Compliance

- *Connect dugouts to an accessible route.*
- *Install accessible gates including 24" accessible surface on pull side.*

Additional Recommendations:

1. Install an irrigation system if field sports are encouraged
2. Maintain field turf as part of Town's maintenance program

W.O. JAMES CASEY PLAYGROUND



| | |
|------------------------------|----------------------------------|
| Address: | Watertown Street at Aldrich Road |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | Zoning |

Description:

This 4.2 acre playground is located on the south side of Watertown Street, abutting a residential neighborhood to the east and north. There is a small on-site parking lot and street parking is available along Watertown Street. The former Parker School, now used for office space, is located on top of a hill on the southern part of the site. The hill is used for sledding in the winter months. The site has a small multi use soccer field/ softball field (updated in 2011 as a regulation Little League field), two basketball courts, two tennis courts (basketball and tennis courts were renovated in 2014), and a tot lot area. A new hockey/skating rink with boards was built in 2014. Netting was added to the Little League field to protect neighboring homes. In 2001-2002 two play structures, one for two to five year olds and one for 5 to 12 year olds were renovated. The tot lot surface is made up of poured-in-place rubber. Other improvements at that time included trees, shrubs, a disabled access table, water fountain (replaced in 2014) and benches. An irrigation system was installed in 2003.



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In recent years, significant improvements have been made to the Aldrich Road parking lot (including an accessible parking space) and access points. Additionally, benches, play structures and the moveable bleachers at the ball diamond have been improved or replaced.

Activity:

Local active and passive recreation
Recreation summer parks program
Little League baseball, youth soccer and youth football

Conditions Assessment and Key Issues:

- Install pre-fab small building adjacent rink which includes bathroom, storage, hot water tank and outside spicket
- Reconstruct electrical box and system
- Install dugouts, bench fencing, backstop fencing for baseball field
- Replace baseball lighting
- Install scoreboard

Field Conditions:

Casey Playground is irrigated. Fertilization needs are based on the results of annual soil fertility tests.

| Characteristic | Rating | Comments |
|----------------|-----------|---|
| Turf Density | 7 | Good |
| Thatch | <1/2 inch | Optimum |
| Weeds | 5 | Center field-90% crabgrass Right field-clover and plantain |
| Compaction | 5 | Optimum |
| Tensile | 3 | Weeds reduce tensile strength |
| Disease | | None observed |
| Insects | | Grub activity observed |

ADA Minimum Compliance Recommendations:

Watertown St. Crosswalk
 The crosswalk does not have curb ramps on both ends nor does it align with the walkway into the park.
Minimum Compliance

- Install curb ramps at both ends of crosswalk.

Watertown St Sidewalk
 Portions of the sidewalk, including where tree pits formerly existed, are uneven or have significant vertical and horizontal displacement. These are tripping hazards.
Minimum Compliance

- Repair accordingly.

Corner of Watertown St. and Aldrich Rd.
 Pedestrians are confronted with significant cross-slopes, lengthy crossing distances and a lack of defined sidewalks along Aldrich Rd. The existing curb ramps do not align with the path of travel.
Minimum Compliance

- Establish accessible street corners.

Walkway from Basketball Court to Play Structure
 While the walkway appears to be fairly new, it has a cross-slope that in areas is 2.5-3.1% in the direction of the catch basin. The adjacent lawn is significantly below the walkway adding an additional concern.
Minimum Compliance

- Cross-slopes must be brought into compliance.
- The adjacent landscape grades should be raised (and maintained) to be flush with the walkway.

Dugout
 Presently, the ball diamond and its dug-out seating areas are not easily accessed by people with disabilities.

Minimum Compliance

- Establish an accessible route to the dugouts.
- Address tripping hazards.

Game Court
 The court is surrounded by an asphalt berm and is not on accessible route. Thus it is not easily accessed by people with mobility disabilities. The court also has some ongoing drainage and runoff problems.
Minimum Compliance

- Establish an accessible route to the court and remove sections of the asphalt berm. Address drainage problems.

Dugout
 Presently, this side of the ball diamond and its dug-out seating areas are not easily accessed by people with physical disabilities.
Minimum Compliance

- All features must be located on an accessible route.

Additional Recommendations:

1. Repair cracks in tennis court area
2. Color seal court areas
3. Address drainage problem between first and second base
4. Maintain turf conditions as part of Town's maintenance program
5. Replace fabric on ball field backstop
6. Add bathroom facilities

CUNNIFF SCHOOL PLAYGROUND



| | |
|------------------------------|---------------------------|
| Address: | 246 Warren Street |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | Zoning |

Description:

This playground serves as a playground area for the Cuniff Elementary School and a practice field for local sport teams. The site has a moderate slope toward the school making the site suitable only for practices. The field is also quite small, further restricting its use for scheduled sports practice. The site abuts residential properties to the east and south. To the west is the Ridgelawn Cemetery.

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The site also has a tot lot area. Through the efforts of the P.T.O. there is new equipment and the area is called the “Cunniff Cove”. Since the 1996 Open Space and Recreation Plan, the Cunniff School building expanded, reducing the size of the playground. The tot lot had a new rubberized safety surface installed in 2005. Presently the slide and swing areas have a rubberized surface. The basketball court was relocated to another area of the park. It needs to be color sealed and a drain cover near the court is raised and needs to be lowered. Parking is available at the school's parking lot.

Activity:

Local active and passive recreation
School recess and physical education classes
Youth baseball/softball

Conditions and Key Issues:

- Major renovation required of facility.
- Basketball court needs to be moved to create additional parking
- Potential move adjacent baseball field

Field Conditions:

Cuniff School playground is not irrigated. Fertilization needs are based on the results of annual soil fertility tests.

| Characteristic | Rating | Comments |
|----------------------|-----------|---|
| Turf Density/Quality | 2 | Excessive wear |
| Thatch | <1/2 inch | Optimum |
| Weeds | 1 | Field is over 80% clover, plantain and crabgrass |
| Compaction | 1 | Lack of turf and excess activity encourages increased compaction. |
| Tensile | 3 | Acceptable in turf areas |
| Disease | | None observed |
| Insects | | Grub activity on south facing slopes-yellowing turf |

The lack of irrigation and excessive activity allow for increased weed competition and population. Limited turf cover and thatch development also leads to increased compaction. An aggressive core aeration and seeding program will help relieve excessive compaction. Without irrigation, crabgrass and weeds will continue to dominate the stressed turf.

ADA Minimum Compliance Recommendations:

Pathway - Warren Street to Copeland/ Grandview Avenue (along Playground and NW side of school) and new Playground

The route serves users of the playground and ball diamond. It begins adjacent to the school drop-off area and ascends, over several hundred linear feet, to reach the intersection of Copeland and Grandview. Slopes in certain locations, exceed 5% (1:20) and in at least one location, the slope exceeds 9%.

The path is also exceptionally narrow, 42 inches or less, for more than 300 feet. In some locations the path is 1-6 inches above the adjacent lawn or contains vertical displacements. People who require space for passing, benches or level landings for resting will have significant challenges because there are none. Further, there are no level landings where paths intersect or railings where slopes exceed 5%.

While the path goes past the ball field, it does not connect to it nor does the secondary path. That path currently ends at a set of fire doors instead of wrapping around the building to the ball diamond, its dug-outs and another school entrance.

Minimum Compliance

- Establish an accessible route that includes level landings for every 30" of elevation gain as well as 5' wide passing locations.
- Install a curb ramp to the drop-off area.

Ball diamond

People with disabilities would likely find it difficult to reach the ball diamond, bleachers, as well as the entire rear of the school.

Minimum Compliance

- Ensure that the features are on an accessible route.

Basketball Court

Currently, the basketball court is not easily accessed by most people. Both of the current entry gates are not structured. For people with disabilities, neither of the entry points is accessible. There is also no accessible route from the ball field around the court to reach the parking lot. There is no seating provided for visitors watching people play. It is also unclear what purpose the catch basin serves while it is substantially elevated above the surrounding grade.

Minimum Compliance

- Ensure that this is located on an accessible route and has an accessible entrance.

Accessible Parking Spaces

The existing accessible parking spaces do not conform to code requirements including slope requirements. It should also be noted that the grade of the driveway up to the parking lot may be an obstacle for some low-floor vehicles.

Minimum Compliance

- Establish accessible parking spaces.

Front Walkways to the School

Pedestrians needing an accessible route from the sidewalk will find that there is no accessible route. The parking lot and front walkways are several feet above the street. The walkways have cracks and vertical displacements greater than 1/4" that are tripping hazards.

Minimum Compliance

- Establish an accessible route.
- Repair vertical displacements accordingly.

Warren Street Mid-block crossing

The sidewalk appears to have been recently modified with a driveway/curb cut. Unfortunately, the manner in which it was constructed is inappropriate and consequently, pedestrians now experience cross slopes of up to 16%.

Minimum Compliance

- The sidewalk should be torn up, a parallel curb ramp installed.
- OR the crosswalk should be raised to increase the safety of students as well as to calm traffic speeds and the sidewalk be raised to the same height.

Stairs from the main entrance to the Warren Street Mid-block crossing

The stairs, landing and adjacent hillside have experienced water damage such that the landing has sunk over an inch below its installed height. For stair users who are not paying attention, they can easily trip going down ending up face down on the stairs or sidewalk.

Minimum Compliance

- Repair vertical displacements as soon as possible.
- Install handrails on each side of the stairs.

Additional Recommendations:

1. Rebuild baseball/softball infield
2. Address issues with drain covers in the playground
3. Improve turf conditions
4. Color seal basketball court
5. Create a windbreak on the west side of the park with appropriate plantings

FILIPPELLO PARK



| | |
|-----------------------------|--|
| Address: | Arlington Street at Elm Street |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | Land and Water Conservation Fund \$463,568.23 |
| A.D.A.Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | In perpetuity (Article 97) |

Description:

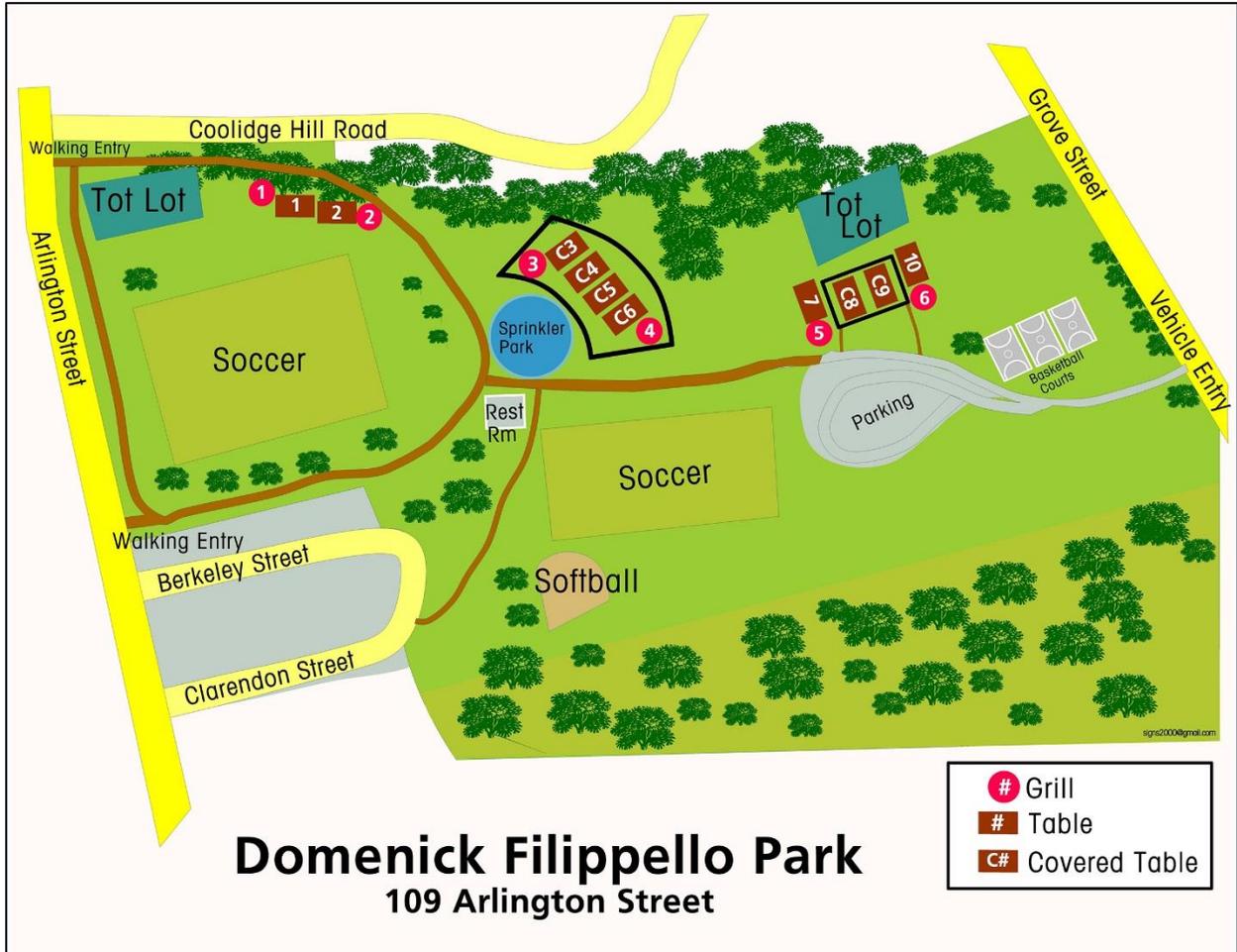
This large park in the eastern portion of Watertown was created in the 1980's after the former Town dump was closed. The western edge of the site is now vacant since the 2004 demolition of the town incinerator. The park has two multi-use sports fields, three basketball courts, two tot lots, two picnic pavilions, a water park and paved trails. The two multi-use fields were reconstructed and irrigation systems were added to both fields. A drainage problem in the left field of the softball field is ongoing. The play equipment in both tot lots was also replaced and a rubber safety surface has been added to both tot lots. The larger tot lot was also moved closer to Arlington Street. The smaller tot lot has rubber pads to make it disabled accessible. There is tot lot by the parking lot, geared to 2 to 5 year-olds, and an older children's tot lot. The three basketball courts were resurfaced, but one was later damaged and needs to be repaired. Both picnic pavilions were refurbished. The walkways in the park are now lighted. On-site parking is available at the eastern edge of the park. A building with bathroom facilities was added. Fencing was replaced around the softball backstop and players area, and the softball clay infield grass edge was reconfigured in 2014. A steep bank along the northerly wooded hillside has resulted in erosion and debris such as soil and gravel on the paved walkway.

Activity:

Local active and passive recreation
Softball and soccer for youth and adults
Water park
Picnic areas

Conditions and Key Issues

- Grove Street entrance and adjoining area needs renovation
- Basketball courts not usable
- Upgrade tables, grills and pavilions
- Replace backstop and benches on the softball field
- Upgrade public bathrooms
- Install soccer and softball scoreboards
- Reconstruct electrical box and system
- Locate another area in town for snow dumping
- **Revegetation efforts should be made to minimize this erosion.**



Field Conditions:

ATHLETIC FIELD - Filippello athletic field is irrigated. Fertilization needs are based on the results of annual soil fertility tests. The Filippello athletic field is the only sand-based field in Watertown. The soil mix contains plastic fibers designed to add tensile strength to the turf grass. Sand based fields drain exceptionally well when properly constructed. Unfortunately, the outfield behind 2nd base and the left field foul areas tend to retain water. As a result, irrigation of this field must be closely monitored. At the time of this inspection, the left field foul line area was holding water, but not to the detriment of the turf. Present irrigation practices should be continued. As this field matures, it will be critical to core aerate at least once, and preferably twice per year. The thatch layer is over ¾ of an inch and should be managed appropriately. Annual core aeration will maintain the thatch, compaction and drainage at optimal levels.

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ATHLETIC FIELD

| Characteristic | Rating | Comments |
|----------------------|----------|---|
| Turf Density/Quality | 9 | Excellent |
| Thatch | > ¾ inch | |
| Weeds | 9 | Less than 1% coverage-some clover |
| Compaction | 5 | Optimum for athletic fields—difficult to assess sub grade based on plastic fibers |
| Tensile | 5 | Optimum for athletic fields-plastic fibers help to hold turf - resilience |
| Disease | | None Observed |
| Insects | | None Observed |

GENERAL FIELD - Filippello -General Activity athletic field is irrigated. Fertilization needs are based on the results of annual soil fertility tests. The right field foul area is excessively wet. Standing water was observed. Overall there is optimum moisture in the soil profile. Monitoring of the irrigation system should continue to ensure there are no irrigation breaks or malfunctioning sprinkler heads in the right field area.

GENERAL FIELD

| Characteristic | Rating | Comments |
|----------------------|------------|--------------------------------|
| Turf Density/Quality | 9 | Excellent |
| Thatch | > 3/4 inch | Excellent for sports programs |
| Weeds | 1 | Less than 1% weeds-some clover |
| Compaction | 5 | Optimum for athletic fields |
| Tensile | 5 | Optimum for athletic fields |
| Disease | | None Observed |
| Insects | | None Observed |

ADA Minimum Compliance Recommendations:

Arlington St sidewalk at Berkeley

The existing sidewalks have substantial cross slopes, are narrow or impassable, and curb ramps do not conform to regulations.

Minimum Compliance

- Ensure a minimum of 3' wide accessible route with a cross slope of 2% or less.
- Install depressed corner curb ramps OR
- Raise the crosswalk across Berkeley to sidewalk level.

Arlington St. sidewalk

The sidewalk has a cross slope from 6.5% - 7.3%.

Minimum Compliance

- Bring sidewalk into compliance with a cross slope of 2% or less.

Southwest entrance into park

The intersection of asphalt, concrete, and decorative pavers is prone to vertical displacements. Numerous tripping hazards were observed. There is also a cross slope of over 5% on the sidewalk. No accessible on-street parking is designated.

Minimum Compliance

- Provide accessible on-street parking.
- Reduce cross slope to 2% or less.
- Repair surfaces accordingly.

Bench near Southwest entrance

People using wheelchairs or scooters cannot sit alongside their companions because the concrete pad does not extend 3' on either side of the bench.

Minimum Compliance

- Create clear space.

Benches facing water feature

People using wheelchairs or scooters cannot sit alongside their companions because the concrete pad does not extend 3' on either side of the bench.

Minimum Compliance

- Create clear space.

Public restrooms

While the restrooms are frequently used, they are not accessible. The areas of non-compliance are outlined below:

Minimum Compliance

- Door pressure exceeds tolerances;
- Sink does not have appropriate clear space;
- Sink plumbing protrudes into knee space
- Grab bars are at different heights;
- Slope of floor to drain exceeds 2%; and
- Interior door clearance is problematic

Walkway adjacent to public restrooms

A water valve shut-off is protruding a couple of inches above the walk surface and is a major tripping hazard.

Minimum Compliance

- Repair surfaces accordingly.

Walkway from restroom to parking lot at Berkeley Street

The walkway is heavily traveled. It has a walk slope in excess of 5% (7.5% in one area) for over 50' and in some locations has a cross slope in excess of 5.2%.

Minimum Compliance

- Either make walkway conform to walkway specifications or construct to ramp specifications.

Parking area at Berkeley Street

Parking area does not have an appropriate pavement markings or signs for two spots. The spaces adjacent to the park walkway could be ideal for two van accessible parking spaces sharing an 8' wide access aisle.

Minimum Compliance

- Establish accessible parking spaces.

Bench near East of water feature

The bushes are overhanging the benches and need to be trimmed. People using wheelchairs or scooters cannot sit alongside their companions because the concrete pad does not extend 3' on either side of the bench.

Minimum Compliance

- Create clear space.

Path heading east from water feature towards Grove St parking lot and play structure

The walkway is delightfully wide and used by walkers, roller bladers, runners, and cyclists. Behind the retaining wall, whose height serves no obvious purpose, there is a favored and active hideout for youth (evidenced by debris).

Minimum Compliance

- Repair surfaces accordingly.

Junction of paths heading to/from Grove St parking lot, the play structure and the Western side of the park

Where the paths intersect, there is no level landing. For the path heading to the parking lot, the path exceeds 5%.

Minimum Compliance

- Regrade pathways so that they do not exceed 5% or if impossible, design a section as a ramp (1:12 max, 5' level landings every 30' and handrails).

Parking lot accessed from Grove St.

The parking lot does not have appropriately located, striped, and signed accessible parking spaces. The existing curb ramps are non-compliant.

Minimum Compliance

- Replace existing curb ramps.
- Establish accessible parking spaces.
- Install a curb ramp adjacent to the spaces if they are not moved to an alternate location. Establish accessible parking spaces.

Drinking fountain adjacent to parking lot

The junction of the asphalt to the pavers is a tripping

hazard.

Minimum Compliance

- Repair surfaces accordingly.

Sitting and field overlook by Grove St. parking lot

The partially area has asphalt pavers and multiple benches. At one point it was possible to see all the way to the ball field however, the bushes have been allowed to grow to a significant height and now block much of the view. The tree grates are in poor condition and are too small for the trees. The pavers are completely uneven as a result of both time and tree roots.

Minimum Compliance

- Repair surfaces accordingly.

Walkway to play structure and pavilion

The walkway has a slope of over 15%.

Minimum Compliance

- Unless a walkway with a 5% slope can be created, the second walkway should be redesigned as a ramp, with the appropriate landings and handrails.
- The accessible route at the pavilion should be leveled.
- The play structure is in need of some upgrades including an accessible surface, additional play elements, and transfer locations.

Basketball Court

From a perspective of appeal and security, the court is far from attractive with no active surroundings, largely invisible from the street, and is bordered by an abandoned industrial site and the Town's apparent recycling center as its adjacent neighbors. The stench of garbage and rotting compost was substantial. The court is not easily accessed by people with mobility disabilities because chained gates block the accessible routes. Seating and shade opportunities are quite limited. The court also has some ongoing drainage and runoff problems as well as non-compliant catch basin covers. Backboard poles have no padded wrapping.

Minimum Compliance

- Establish an accessible route to and into the court from both ends.
- Install accessible grate covers.
- Address drainage problems.

Walkway from parking lot, past basketball courts, to Grove St.

The path varies in width and has some significant cross slope problems. Trees also need to be headed up.

Minimum Compliance

- Remove existing walkway and regrade area so that a new path will be less than 5%. Cross slopes should be absolutely minimized and consider a level resting area with a bench along path. The new path should be as wide as it is today.
- Head up trees to 8' so that when wet, they do not hang below 80".

Stairs from water feature to picnic pavilion area

The stairs are wide and shallow making them perfect for sitting on. However, a handrail in the center would benefit many.

Minimum Compliance

- All stairs must have a handrail

Grills in picnic pavilion area

The grills that are mounted behind the retaining wall are significantly outside of the allowable reach ranges.

Minimum Compliance

- Features must be located within accessible reach ranges.

Jogging path from picnic pavilion to play structure

The path is in good condition but, has trees that need to be headed up.

Minimum Compliance

- Head up trees to 8' so that when wet, they do not hang below 80".

Jogging path heading West toward flag pole and play structure

Minimum Compliance

- Establish an accessible route to one table and grill.
- Table tops should extend a minimum of 19" clear space from the leg, have 30" of clear width and be at a height of not less than 27" to the underside of the table top.
- Concrete pads should extend beyond their current dimensions to provide a stable seating area at the ends.
- Adjacent soil should be level at or slightly above the concrete pads to minimize vertical displacement and tripping hazards and allow access to table ends.

Jogging path at walkway to play structure

The junction of two materials has a vertical lip in excess of a 1/2".

Minimum Compliance

- Repair accordingly.

Play structure entrance

The entrance requires a 90 degree turn and is too narrow for a double stroller to easily navigate through. Oddly, the fencing appears to have been installed 6" into the concrete pad.

Minimum Compliance

- Make entrance comply with accessible entrance requirements.

Play structure transfer location

This location is missing the bottom transfer step.

Minimum Compliance

- Reinstall transfer step.

Entrance from play structure to field

The gate has the same poor design as the previous one however this design is complicated by its location in a corner and adjacent to some benches.

Minimum Compliance

- Make entrance comply with accessible entrance requirements.

Play structure surface

The surface has experienced some degradation but has not been repaired.

Minimum Compliance

- Repair accordingly.

Logging path along Arlington St.

The path is in good condition but as the photos depict, have trees that need to be headed up.

Minimum Compliance

- Head up trees to 8' so that when wet, they do not hang below 80".

Northwest entrance into park

Like the Southwest entrance, the intersection of asphalt, concrete, and decorative pavers is prone to vertical displacements. Numerous tripping hazards were observed.

Minimum Compliance

- Repair accordingly.

Intersection of Arlington, Coolidge Hill, Crawford and Nichols

The intersection is complicated by the intersection of several streets, each at different grades, along with a

railroad track crossing. The existing sidewalks curb ramps and crossings are at best, difficult to navigate. The lengthy crossing distances and excessive curb radii are contributing factors. The existing signals appear to be several decades old.

Minimum Compliance

- Install accessible curb ramps and sidewalks.

Additional Recommendations

1. Address drainage issues in the left field of the softball field. Designer should address and rectify this situation
2. Design former incinerator site for recreation. Coordinate the design with Mt. Auburn Cemetery, owner of the adjacent parcel
3. Repair damaged basketball court
4. Add electrical outlet to sidewall of utility room

HOWE PARK



| | |
|------------------------------|--------------------------------------|
| Address: | Corner of Pleasant and Bacon Streets |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | Zoning |

Description:

This hillside park overlooking Pleasant Street serves as a neighborhood playground. Prior to the 1996 Open Space and Recreation Plan the site had received considerable renovations including turf and drainage systems. A tot lot was added in 1996 and a rubberized safety surface in 2005. A walkway from French Street to the tot lot has been added to provide disabled access. The small, sloping field is not suitable or intended for field sports. The site has one basketball court which was replaced since the last update to this plan. New trees have been added to the park and in the future they will provide shade for the tot lot. Off-site street parking is available on Homer, French, and Bacon Streets. A dog park was added in 2014 with additional trees and benches.

Activity:

Local active and passive recreation
Dog recreational area

Conditions and Key Issues:

- Basketball court needs to be color sealed.
- Handicapped accessibility needed for dog park
- Appropriate surface installed within dog park

ADA Minimum Compliance Recommendations:

Walkway from Homer & French Streets to Bacon Street

Apart from some vertical displacements, the existing walkway is in fairly good condition. While the walkway connects to the play structure, there is no connection to the basketball court (Indeed, there is not even a sign pointing toward the court). In most places, the walkway slope is at or below 5%. Additionally, there are low hanging branches.

Minimum compliance

- Repair vertical displacements.
- Regrade adjacent landscape grade such that it drops off no more than 5% for at least 10" beyond the walkway width.
- Head up trees to 8' so that when wet, they do not hang below 80".

Bacon Street sidewalk

The severely deteriorated 3' wide sidewalk was made out of asphalt with no curbing. Its condition and narrowness discourages use by pedestrians, though such behavior may be acceptable because of the limited traffic volumes. Where the walkway meets the sidewalk, there is a tripping hazard and a cross slope exceeding 8%.

Minimum compliance

- Repair tripping hazard.
- Remove section of walkway and replace with a level landing. The walkway should join the sidewalk in a parallel curb ramp that will also provide access to the street.
- Replace existing sidewalk with a 5' wide sidewalk designed with a cross slope of less than 2%.

Sidewalk along Pleasant Street

Although Pleasant Street experiences moderate traffic throughout the day, the speeds are often excessive. The sidewalk is significantly degraded including curb stones which have sunk considerably. Curb ramps do not exist. There is no pedestrian crossing to the MDC walkway.

Minimum Compliance

- Provide an accessible route.
- Provide curb ramps and crosswalks.

Entrance into play structure

Currently, the entrance opening is narrower than the walkway leading to it or the pad on the inside of it. The gate is not accessible and is likely unnecessary.

Minimum Compliance

- Ensure a 3' wide opening.
- Make gate accessible.

Play structure, surface and bench

The existing surface is not accessible and there is a

considerable step down to the surface. At the bench, there has been considerable erosion such that the bench is over 22" H. The play structure has some problems including a lack of shade, the dark colored slide facing due south, some graffiti and inaccessible entrances. There is a secondary gate that could connect to a 5% walkway to the basketball court.

Minimum Compliance

- Establish an accessible route.
- Bring play structure and surface into compliance.
- Make gate accessible.

Route to basketball court

Currently, there is no accessible route to the court..

Minimum compliance

- Establish an accessible route between entrances, basketball court and play-ground.

Basketball court

While the court is not on an accessible route. It can be made more accessible and attractive. For instance, the benches and trash receptacle could be located on a new accessible walkway along the court's edge. Likewise, a section of the curb surrounding the court could be ramped.

Minimum Compliance

- Establish an accessible route to the court and other elements and install a ramp/remove asphalt curb.

Additional Recommendations:

1. This site should not be utilized for scheduled sports practices because it is small and sloping. Field sports practices would likely result in quickly deteriorating conditions. The site has no on-site parking, nor is there much on-street parking in the abutting neighborhood. The parking arrangement and small area makes use of this site generally limited to the surrounding neighborhood. This park offers an excellent play area for the neighborhood's younger children as well as both passive and active recreation opportunities for adults.
2. Install an irrigation system
3. Color seal the court area
4. Extend fence line
5. Add handicapped parking
6. Replace trees that were taken down along Bacon Street
7. Add benches

LINEAR PARK



| | |
|------------------------------|--|
| Address: | Between municipal parking lot at Town Hall and Waverley Avenue |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | Two Family |
| Level of Protection: | Zoning |

Description:

This is a paved tree-lined linear path that runs from the municipal parking lot at Town Hall, past the Boys and Girls Club, across Whites Avenue to Waverley Avenue. A mural was painted on an adjoining wall by high school students in 2013.

Conditions and Key Issues:

- Install curb cuts at the street intersections
- Make width of path uniform
- Install lighting and prune overgrown plantings
- Watertown Community Path -Extend the path to Charles River via Howard Street as well as through the municipal parking lots to connect it to the Arsenal Street Corridor and the Watertown-Cambridge Greenway
- Change zoning to Open Space Conservancy

LOWELL SCHOOL PLAYGROUND



| | |
|------------------------------|---|
| Address: | Corner of George Street and Lowell Avenue |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | Zoning |

Description:

The area behind the Lowell School serves as the school's playground, a heavily used little league/softball practice field, and as a neighborhood play area for younger children. The site provides one small little league/softball field, one basketball court, and two tot lot play areas (one in the front and the other in the back). There are two handicap parking spaces near the playground. The tot lots were reconstructed in 2001, and both received a rubberized safety surface in 2005. The tot lot equipment near the front door of the school was purchased by the P.T.O.

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and is in need of redesign. The basketball court was also reconstructed during renovations. A retaining wall, new benches and a backstop along with a new infield were installed in 2000. An irrigation system was added to the playing field in 2001. The site utilizes the school's parking lot area.

Activity:

Local active and passive recreation
School softball
Youth softball / baseball
Watertown Recreation Department activities
School recess and physical education classes

Conditions and Key Issues:

- Basketball court needs to be renovated color sealed
- Lighting pole and fixture renovated
- Batting cage installed for softball/baseball program
- Where possible, locate shade trees along the south and western edges of tot-lots.

Field Conditions:

Lowell School playground is irrigated. Fertilization needs are based on the results of annual soil fertility tests.

| Characteristic | Rating | Comments |
|----------------------|-----------|--|
| Turf Density/Quality | 9 | Excellent |
| Thatch | <1/2 inch | Optimum |
| Weeds | 4 | Overall good-Center Field-clover/chickweed |
| Compaction | 5-6 | Optimum for athletic fields |
| Tensile | 5 | Optimum for athletic fields |
| Disease | | Brown Patch. Not active—no turf loss |
| Insects | | None observed |

ADA Minimum Compliance Recommendations:

Sidewalk, curb ramp, and crosswalk at Lowell School entrance

The existing concrete has degraded significantly, including on the ramp to the school (not shown). There is a confluence of slopes that could conceivably be reduced.

Minimum Compliance

- Replace existing surfaces and minimize slope conditions.

Crosswalk from play structure and sidewalk along school

There are no curb ramps at either end of the crosswalk. Portions of the sidewalk are uneven or have significant vertical and horizontal displacement. These are tripping hazards.

Minimum Compliance

- Install curb ramps.
- Repair surfaces accordingly.

Accessible parking spaces opposite main school entrance

People who want to use these spaces will find that they are not appropriately dimensioned (too narrow), signed, and have cross slopes that exceed maximum tolerances. Also note the more than 1" vertical displacement (bump) where the access aisle meets the sidewalk.

Minimum compliance

- Repair vertical displacement.
- Establish accessible parking spaces.

Sidewalk from accessible parking to York Street

The existing sidewalk has a cross slopes up to 2.7%.

Minimum Compliance

- Ensure that cross slopes do not exceed 2%.

Intersection of York & Lowell Streets

The curb ramps should have been constructed as parallel curb ramps. Apex curb ramps, presuming a 6" curb height and a 4' level landing at the top, can not be used in sidewalks narrower than 10'. Also there is a drainage problem.

Minimum compliance

- Install accessible curb ramps.

Sidewalk along York Street

The sidewalk is in fairly good condition though it narrows at the trunks of trees and has some vertical displacements. Some tree branches are hanging below eye level.

Minimum Compliance

- Head up trees to at least 80" where trees overhang path.
- Repair or repave asphalt to eliminate vertical displacements.

Ball diamond and bleachers

Currently, there is no accessible route to reach either the ball diamond or the bleachers above it.

Minimum Compliance

- Establish accessible route to bleachers and ball diamond.

Ball diamond dugouts

The existing dugouts are not connected to an accessible

route.

Minimum compliance

- Link the dugouts to an accessible route. Relocate the trash cans into the corners of the dugouts and out of the path of travel. Repair vertical displacements as soon as possible.

Basketball court

The court, bench, and trash can are not located on an accessible route. There is little shade for the basketball court. One of the backboard poles and the telephone pole do not have padded wrapping.

Minimum Compliance

- Establish an accessible route to the court and other elements.

Bench facing Southwest at play structure

The bench pad is not wide enough to provide a 3' wide clear space alongside the bench. There is considerable erosion alongside the bench where there is an opening in the fence to access the play structure.

Minimum Compliance

- Establish an accessible route to the bench.

Play structure walkway

The play structure walkway was selectively widened but the new pads are not level with the existing concrete. Further, there are expansion joints wider than 1/2" and the widening may not provide adequate drainage.

Minimum Compliance

- Repair all vertical displacements. Fill all cracks with flexible caulking so that they are flush with the adjacent surfaces.

Bench in play structure

People using wheelchairs or scooters cannot sit alongside their companions because the concrete pad does not extend 3' on either side of the bench. Minimum Compliance

- Create clear space.
- Ensure landscape grade is flush with the concrete.

Lowell St Entrance into play structure

The entrance is slightly larger than others such as Filippello Park because the vertical stand alone element is pulled back. However, the triangular concrete pad is not wide enough for an accessible route.

Minimum Compliance

- Ensure that the element is removed so that it does not block the accessible route OR enlarge the concrete pad.

George St. at Lowell St. (Looking North)

The existing sidewalk is narrow and has multiple vertical displacements.

Minimum Compliance

- Repair sidewalk accordingly.

George St and rear driveway of Lowell School

The existing sidewalk, curb ramps and crosswalks are poorly designed. Complicating matters is a catch basin whose foundation may have partially failed.

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Minimum Compliance

- Bring sidewalk and curb ramps into compliance.

Parking area behind school

Currently, the sidewalk is impassable and the accessible parking spaces are not appropriately identified.

Minimum Compliance

- Trim greenery to be clear of the accessible route.
- Establish appropriate striping and signage for accessible parking spaces.

Walkway and sidewalk adjacent to swings

The intersection of the walkway and sidewalk has a cross slope over 2.5%.

Minimum Compliance

- Ensure that cross slopes do not exceed 2%.

Benches near swings

People using wheelchairs or scooters cannot sit alongside their companions because the concrete pad does not extend 3' on either side of the bench.

Minimum Compliance

- Create clear space.

Additional Recommendations:

Field management also needs to be vigorously

enforced to prevent the field's decline.

Recommended management measures include: reducing the number of scheduled activities to a level below the point of field degradation, restrict or bar teams that fail to use the field properly, and require teams to contribute to the field's maintenance.

Lowell Park:

1. Maintain turf conditions as part of town's maintenance program
2. Improve areas at each end of the retaining wall of J. Malcolm Whitney Baseball Field where there is erosion
3. Install barrier at east side of park to keep balls from going onto George Street

Lowell School Playground:

1. Redesign tot lot at the front of the school
2. Improve area by front entrance of school
3. Consider installing an irrigation system to front lawn of school
4. Add bathroom facilities

MOXLEY PLAYGROUND



| | |
|------------------------------|---|
| Address: | Corner of Westminster Avenue and Bemis Street |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | Zoning |

Description:

This large multi-use site serves as a major field sport resource for the Town. The site provides one full sized soccer/football field, one baseball field, two tennis courts (with lights), one basketball court (with lights), a batting cage (netting was added in 2012), and two tot lot areas. A field house/locker room building was rebuilt in 2001. The two tot lots were built in 2003 and were resurfaced with a new rubberized material in 2014. One is designed for youngsters 2 to 5 years of age and the other for youngsters 5 to 12 years of age. Both tot lots have rubberized safety surfaces. The site is situated directly to the south of the Watertown Middle School. Parking is available both on-street and on-site at the school's parking lot. The field received major renovations in 2001. The field has an irrigation system that was improved during the building of the field house.

Activity:

Local active and passive recreation
 Middle school physical education class
 School Department baseball, soccer and football
 Youth baseball, football and soccer
 Adult baseball
 Watertown Recreation Department activities
 Recreation summer parks program
 School recess and physical education classes

Conditions and Key Issues:

Although the site has one of the most utilized fields in the Town the extensive maintenance activities appear to be holding the field's overall condition above what would be expected given this enormous use. The field's heavy usage and prominence may pose an advantage over other sites in that teams that use the field must use them with the least damage possible; degradation of the fields would not be tolerated by subsequent players. Under this scenario field management is implemented more aggressively, and consistently, than at other sites due to the need for continuous intervention and scheduling by the Recreation Department and Public Works to respond to user needs and complaints. The Community Path is planned to follow the southerly boundary of this park, connecting between Main Street and Waverly Street.

It is recommended that the intensity of field use be decreased if field degradation is to be prevented. This decrease in use will allow for proper field rejuvenation cycles.

- Reconstruct basketball, tennis and lighting system
- Replacement of back stop, team benches fencing, fencing on first base side and Westminster Ave. needs to be replaced.
- Replace cement pads for bench areas
- Replace batting cage and netting system
- Replace benches in tot lot

Field Conditions:

Moxley Playground is irrigated. Fertilization needs are based on the results of annual soil fertility tests.

| Characteristic | Rating | Comments |
|----------------------|-----------|-----------------------|
| Turf Density/Quality | 8 | Very good |
| Thatch | <1/2 inch | Optimum |
| Weeds | 3-4 | Clover/crabgrass |
| Compaction | 7 | Moderately compacted |
| Tensile | 8 | Good tensile strength |
| Disease | | None observed |
| Insects | | None Observed |

ADA Minimum Compliance Recommendations:

Sidewalk at the corner of Main and Westminster Streets

Pedestrians walking along the Westminster Street sidewalk do not have a clear path of travel because of the broken, uneven and poorly patched sidewalks.

Minimum Compliance

- Repair surface accordingly.
- Replace curb ramps at crosswalk.

Southwest entrance along Westminster St Sidewalk

The existing entrance appears to be heavily used however there is no accessible route from this gate to any of the features within the park including the batting cage, ball diamond or the pedestrian connection to the rail trail running from Waverly Street to Saltonstall Park. The batting cage gate and ground surface is not accessible.

Minimum Compliance

- Establish an accessible route to all features.
- Make gate accessible.

Potential walkway between from batting cage, past monument to ball diamond and Waverly Street

The walkway could run parallel to the fence line but just north of the monument and tree line. It would be beyond the boundaries of the soccer field and well beyond the baseball foul line.

Minimum Compliance

- Establish an accessible route connecting all of the features.

Pedestrian route from ball diamond to Waverly Street

Park users entering/exiting at this location are confronted by low hanging branches and significant vertical displacements (tripping hazards). The area also appears to be used as an unofficial parking location. As such, the current entry point is challenging but can easily be fixed. The sidewalks on the West side of Waverly Street are deteriorated and significantly overgrown.

Minimum Compliance

- Head up trees to at least 8' where trees overhang path.
- Eliminate vertical displacements and tripping hazards.
- Repair or replace sidewalks as needed.

Pedestrian crossing of Waverly Street at rail trail

While this is an obvious pedestrian connection and one that should be encouraged, it is not marked even with a crosswalk. It also needs an accessible curb ramp on the west side. The crossing and the accompanying traffic volume is similar to many along the Minuteman Trail that runs from Alewife to Bedford.

Minimum Compliance

- Install curb ramps.

Ball diamond S. dugout

Presently, the ball diamond and its dug-out seating areas are not easily accessed by people with disabilities because they do not link to an accessible route and the concrete pads do not extend to the traditional standing points.

Minimum Compliance

- Establish an accessible route to the dugouts.
- Address tripping hazards.

Bleachers at Ball Diamond

The bleachers are considerably worn and not appropriately located.

Minimum Compliance

- The bleachers should be located on an accessible route with adequate clear space around them for people to sit alongside and in front of them.

Ball diamond E. dugout

Minimum Compliance

- Establish an accessible route to the dugouts.
- Address tripping hazards.

Stairs to Linden Street

The existing stairs are uneven (the top step is 9 1/2" high), lack handrails, and there is nothing to prevent running fielders from falling down them.

Minimum Compliance

- The stairs, if worked on significantly, would need to be brought into full compliance.

Walkway to Bemis Street

There is a tripping hazard because the mulch will never be flush with adjacent surfaces

Minimum Compliance

- Address tripping hazards.

Grassy strip between play surface and walkway

When the accessible play surface was installed, the grass adjacent to it was not graded appropriately such that it has a rut and then juts up creating both a tripping hazard and potential for a twisted ankle.

Minimum Compliance

- Address tripping hazards.

Corner of Bemis and Waverly Streets

The intersection is utilized by families, children and senior citizens to either reach Moxley Playground or the adjacent school. The existing curb ramps are not compliant and there is no accessible route to the apartment building.

Minimum compliance

- Install accessible curb ramps.

Walkway heading to school crossing of Bemis Street

The existing walkway has a running slope of over 8% and has some cross slope conditions.

Minimum Compliance

- Ensure that the walkway does not exceed 5% or if it is treated as a ramp, it cannot exceed 8.3% and must have railings.
- Remove tripping hazards

School crossing at Bemis Street

The sidewalk has some cross slope conditions as well as vertical displacements. At the crossing, a curb ramp is

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missing on the school side and on the Moxley side, a driveway curb cut acts as a curb ramp. There is no level landing at its top before it starts descending as the park walkway.

Minimum Compliance

- Install accessible curb ramps.

Surface and seating conditions around play structures

While visiting the play structures, all of the shaded benches were in use and the sunny benches were avoided. The concrete surface was in good condition apart from some minor vertical displacements

Minimum Compliance

- Repair vertical displacements.

Tennis Court Gate adjacent to play structures

Despite frequent usage, the courts do not have formalized entry points on at least two sides. The formal entry is via the basketball court. This entry point is challenging.

Minimum Compliance

- Make gate accessible.

Connect from the SW entry of smaller play structure to the field house

Despite a clear desire line worn into some areas of the landscape there is no formal walkway between the two areas. In fact, there is no accessible route from either of the play structures to the field house.

Minimum Compliance

- Establish an accessible route to all features.

Walkway between field house and basket ball court

The existing walkway has eroded, is uneven and its slope exceeds 5% but it is not designed as a ramp. It narrows at

the gate. The gate is inaccessible.

Minimum Compliance

- Establish an accessible route to all features.
- Make gate accessible.

Walkway from field house to Westminster St.

The existing walkway has a 10% running slope and a cross slope of over 4.5%. The walkway needs to be replaced.

Minimum Compliance

- Establish an accessible route from the field house to the Westminster sidewalk.

Intersection of Westminster and Bemis Streets

The existing sidewalks have cross slopes and vertical displacements in excess of maximum tolerances. The existing apex curb ramps are not compliant and are worsened by the corner radii.

Minimum Compliance

- Install accessible curb ramps.
- Ensure sidewalks have cross slopes of less than 2%.
- Repair vertical displacements.

Sidewalk along Westminster

The existing sidewalk is breaking up, has some cross slope concerns and the adjacent 18" green strip is not flush with the sidewalk.

Minimum Compliance

- All features must be located on an accessible route.
- Repair surfaces accordingly.

Additional Recommendations:

1. Repair cracks in surface of court area
2. Color seal court area
3. Address water runoff issue at field house roof
4. Maintain turf conditions as part of town's maintenance program

O'CONNELL PLAYGROUND



| | |
|------------------------------|---|
| Address: | Corner of Mt. Auburn and Boylston Streets |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | Zoning |

Description:

This site serves as a playground area for the Hosmer School as well as a field sport space for several local teams. The site also functions as a neighborhood tot lot. The site has one multi-use soccer/field hockey field, one lacrosse field, two softball/baseball fields, one basketball court, a street hockey court, and two tot lots. One of the softball field infields is skimmed and clay was

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added for use by high school softball teams in 2014. Parking is provided on-site at the school's parking lot. The site last had major renovations or improvements in 2003 as part of the school renovation project. A new disabled access tot lot was installed in 2003 with a rubberized safety surface. This tot lot was built by a combined effort of students, teachers and parents. A new basketball court was built as a part of the school renovation project. A batting cage was erected in 2000. An irrigation system and new backstop were added to the field in 2001. During the fall, late spring, and summer months the field areas are used every day for scheduled team sports and school gym classes.

Activity:

Active and passive recreation
 School Department soccer, lacrosse and softball
 School recess and physical education classes
 Recreation Department Activities
 Youth soccer, lacrosse and softball

Conditions and Key Issues:

- Shade trees at the tot lot are in poor health due to poor siting
- Stamatakis playground needs to be redone with resurfacing
- Extend surface of baseline end of basketball / hockey court
- Install artificial grass by playground
- Batting cage replacement
- Replace fencing along parking lot
- Resurface parking lot

Field Conditions:

O'Connell athletic field is irrigated. Fertilization needs are based on the results of annual soil fertility tests.

| Characteristic | Rating | Comments |
|----------------------|-----------|--|
| Turf Density/Quality | 9 | Very Good |
| Thatch | <1/2 inch | Optimum |
| Weeds | 3 | Clover and Plantain throughout |
| Compaction | 5 | Optimum for athletic fields |
| Tensile | 5 | Optimum for athletic fields |
| Disease | | None observed |
| Insects | | Several patches of yellowing with grubs observed |

ADA Minimum Compliance Recommendations:

Mt. Auburn St. Sidewalk

Pedestrians walking along the Mt. Auburn Street sidewalk do not have clear path of travel because of a variety of vertical displacements (tripping hazards) and eroded concrete

Minimum Compliance

- *Repair accordingly.*

East entrance from Mt. Auburn St.

The existing entrance is informal - an opening in the fence, and is not readily visible. The entrance is not accessible and does not connect to an accessible route serving the features within the facility.

Minimum Compliance

- *Continue the concrete through the opening so there is a 4' deep pad connecting to the phone.*
- *Ensure that the adjacent landscaping is raised to be flush with the pad.*
- *Establish an accessible route to all features.*

Mid-block crossing of Mt. Auburn Street

The existing curb ramps are not in compliance and slope conditions are worsened by the high crown of the road. Using bulb-outs, the slopes may be minimized and the crossing distance could be shortened.

Minimum Compliance

- *Replace curb ramp on park side.*
- *Use a combination curb ramp so that sidewalk width is maintained.*
- *Make opposite curb ramp compliant.*

Park bench along Mt. Auburn

Despite having a good location and shade, the existing bench is not easily accessed and has significant erosion under it.

Minimum Compliance

- *Establish an accessible route to the bench.*

Dirt lot and field entrance at Mt. Auburn & Boylston Streets

The lot appears to be overflow parking. Access to the field for mowers occurs here.

Minimum Compliance

- *Establish an accessible route to the field entrance.*

Potential walkway from field entrance to dugouts

The features are not connected to an accessible route.

Minimum Compliance

- *Provide an accessible route to all features.*

SW ball diamond dugout pads and benches

Currently, the ball diamond and its dug-out seating areas are not easily accessed by people with disabilities. There is erosion at the ends of the concrete dugout pads resulting in 1"+ tripping hazard. People with disabilities cannot traverse the area behind the backstop because the concrete does not extend around the back stop. When the dugout pads were poured, their design did not anticipate the preferred standing location. Further, the brown gear

box's present location narrows the walkway.

Minimum Compliance

- *Install an accessible route connecting all features.*
- *Repair surfaces and repair vertical displacements.*

Southwest gate to ball diamond

The existing passageway is awkward, significantly rutted and is a barrier for many people with disabilities.

Minimum Compliance

- *Create an accessible entrance that connects with an accessible route to all amenities on site.*

Batting cage

The batting cage is not connected to an accessible route. The ground surface in the cage and the gate is not accessible.

Minimum Compliance

- *Establish an accessible route to all features, including batting cage.*
- *Relocate gearbox and create a 5' wide accessible route to the scoreboard so everyone can keep score.*
- *Make gate accessible.*

Bleachers and field entrance

There is no accessible route connecting the courts to the bleachers from either the dugout or the park entrance shown below.

Minimum Compliance

- *Establish an accessible route between the facilities.*
- *Add a concrete pad under the bleachers and extend it 4' on all sides of the bleachers.*

West entrance to play structure

The entrance does not connect to an accessible route.

Minimum Compliance

- *Re-grade landscaping to be flush.*
- *Maintain periodically.*

Play structure surface

The play structure surface is accessible however, in several locations it has worn away, or sunk below the adjacent walkway. Each situation is a tripping or twisted ankle hazard.

Minimum Compliance

- *Repair accordingly.*

Play structure

The play structure is in good condition and has numerous play elements at both ground and elevated levels.

Minimum compliance

- *Install transfer stations in accordance with ADAAG 15.6.*

Connection from play structure to basketball court

The current walk surface is uneven and unstable. A person using a wheelchair will get their foot rests caught in mesh on gate.

Minimum Compliance

- *Establish an accessible route to court.*
- *Make gate accessible.*

Walkway around play structure

There is an apparent drainage and run-off problem here.

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Minimum Compliance

- Maintain an obstacle free accessible route.

Path around play structure

The accessible route is excessively narrow; in some cases, it is only 3' wide. The landscaping surface is no longer level with the walkway, creating a tripping hazard.

Minimum Compliance

- Walkways less than 60" wide are required to have frequent 60" X 60" passing locations.
- Re-grade adjacent landscape grade such that it drops off no more than 5% for at least 10" beyond the walkway width.

Picnic table facing play structure

This attractively designed picnic area that offers a mix of sun and shade!

Minimum Compliance

- Re-grade adjacent landscaping to be flush with walkway.

Curb ramp and crosswalk at NW corner of

Winthrop and Hancock

While this curb ramp is fairly new, there is a vertical lip at the bottom and there is a significant run-off problem from the adjacent landscaping. Also, the material used for the crosswalk markings is slippery.

Minimum Compliance

- Repair all vertical displacements.

Basketball court

The basketball court is not connected to an accessible route.

Minimum Compliance

- Provide an accessible route to all features.

Parking lot at basketball court

Parking is provided but there are no accessible parking spaces.

Minimum Compliance

- If these spaces are for public use, establish accessible parking spaces including van accessible spaces.
- Provide an accessible route to the court.

Winthrop Street sidewalk

The existing sidewalk is significantly degraded, has many vertical displacements and is overgrown.

Minimum Compliance

- Repair accordingly.

Additional Recommendations:

1. Repair depression caused by pipe giving way in new tot lot (Contractor's responsibility)
2. Repair rubberized safety surface at tot lot (Contractor's responsibility)
3. Improve turf conditions (part of the Town's maintenance program)
4. Replace Red Oaks as necessary; tree planting on north and south side of park
5. Entrances to park need improvement
6. Add bathroom facilities
7. Add electrical outlet to batting cage

SALTONSTALL PARK



| | |
|------------------------------|---|
| Address: | Corner of Main Street and Whites Avenue |
| Owner: | Town |
| Managed By: | Recreation Department |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | Article 97 |

Description:

This is a multi-use site located directly behind and beside Town Hall. Metered parking is available. It is heavily used for a variety of sports as well as for casual recreation due to its centrality. The Park provides a paved memorial area that is used for outdoor concerts in the summer months and provides shade for weary pedestrians. Facilities include one basketball court (resurfaced and painted, and a scoreboard and time clock were added in 2014), one tot lot, one lighted softball field, and several park benches (new granite benches were dedicated in 2014). The Boys & Girls Club building is located on the Whites Avenue side of the Park. The site is directly accessed from Main Street and via Linear Park which has its entrance near the Boys & Girls Club building. The field has lighting for evening sports.

Activity:

Active and passive recreation
 Boys and girls club activity
 Middle School field hockey
 Youth baseball/softball, soccer and football

Conditions and Key Issues:

The present conditions of the passive component of this Park are fair. While the trees, park benches, and memorials appear to be in good condition, the concrete paved surfaces are in need of immediate care.

In 2001 the field received major renovations, an irrigation system, backstop and new player’s benches. Subsequently, the field has received an intensive program of turf management to address soil compactions issues that arose during its reconstruction. Many trees were added to the park, including several Cherry trees. A new tot lot for 2 to 5 year olds was constructed in 2003. This area has a rubberized safety surface. Work was done on the plaza to improve its condition. The lighting system needs to be renovated. As part of the Community Path project, the sidewalk along the northern edge of the park between the library parking lot and Whites Avenue should be expanded into a multi-use path.

Field Conditions:

Saltonstall athletic field is irrigated. Fertilization needs are based on the results of annual soil fertility tests.

| Characteristic | Rating | Comments |
|----------------------|----------------|---|
| Turf Density/Quality | 9 | Excellent |
| Thatch | 1/2 - 3/4 inch | Optimum |
| Weeds | 2 | Overall excellent some clover and crabgrass |
| Compaction | 1-2 | Very hard subsurface—sub grade contains clay/fines which may impede drainage and increase compaction. |
| Tensile | 5 | Optimum for athletic fields |
| Disease | | None observed |
| Insects | | None Observed |

Saltonstall should be core aerated at least once per year. Core aeration will remove turf plugs, decrease compaction and improve drainage.

ADA Minimum Compliance Recommendations:

Recommendations:
 The central location of this park makes it subject to extensive use; indeed, the field area is used almost every day and night. Such extensive field use requires extraordinary maintenance and management to prevent degradation. The field area at present is in good

condition. Intensive management techniques need to continue in order to prevent future degradation of this field. At a minimum, the number of permits issued for field use should be held to a level that will prevent overall field decline. Rejuvenation cycles should also be implemented.

SULLIVAN PLAYGROUND



| | |
|------------------------------|--|
| Address: | Corner of Mt. Auburn and Arlington Streets |
| Owner: | Town |
| Managed By: | DPW/Recreation Department |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | Zoning |

Description:

This site is located adjacent to the Apartments at Coolidge School and Mount Auburn Street. Arlington Street is the western edge of the site. The Coolidge School is currently vacant. Facilities provided at the site are: one small Little League/softball field, one tot lot, and one basketball court. The field area is used approximately four evenings per week and numerous practices are held on the weekends. In 2002, the park received major renovations. The playing field was renovated and an irrigation system, outfield fence, ball field backstop and new player’s benches were installed. The basketball court was rebuilt and many trees were added to the park. A tot lot providing disabled access was installed with a rubberized safety surface.

Activity:

Active and passive recreation

Conditions and Key Issues:

The site is constrained by its location. High flying softballs pose a hazard to vehicles on adjacent streets and to children playing at the site. For this reason the softball area is restricted for practice for the youngest children. The basketball court has a high fence to keep stray balls from the busy street intersection.

Sullivan Playground

Sullivan School playground is irrigated. Fertilization needs are based on the results of annual soil fertility tests.

| Characteristic | Rating | Comments |
|----------------------|-----------|---|
| Turf Density/Quality | 5 | Excessive wear/damage |
| Thatch | <1/2 inch | Optimum |
| Weeds | 1 | Significant clover and crabgrass |
| Compaction | 3 | Very Compacted |
| Tensile | 5 | Optimum for athletic fields |
| Disease | | Brown patch. Not active—no turf loss |
| Insects | | None observed |

ADA Minimum Compliance Recommendations:

Playground entry gate at Mt. Auburn St.

The gate lacks a solid surface at bottom 18" of the push side of gate. A person using a wheelchair will get foot rests caught in mesh.

Minimum Compliance

- *Make gate accessible.*

Bench facing play structure

People using wheelchairs or scooters cannot sit alongside their companions because the concrete pad does not extend on either side of the bench.

Minimum Compliance

- *Create clear space.*
- *Head up trees to at least 80" where trees overhang path.*

Path around play structure

Low hanging branches are a problem. The bench seat is narrow and there is no pull-off space at ends of bench.

Minimum Compliance

- *Repair benches and head up trees to at least 80" where trees overhang path.*

Path around play structure

The accessible route narrows considerably to 3' wide or less in some spots and the play structure surface is no longer level with the walkway, creating a tripping hazard.

Minimum Compliance

- *Repair accordingly.*

Play structure

The play structure offers a variety of engaging elements at the surface and above however there are few transfer stations. The structure is partly shaded but the west facing slide can still be hot to the touch.

Recommendation

- *Add two transfer stations, one at each end.*
- *Provide additional grab bars at the top of the slides.*
- *Investigate additional locations for shade trees.*

Walkways through the play structure

The walkway is quite narrow and the walkways have cracks and vertical displacements greater than 1/4" (tripping hazards).

Minimum Compliance

- *Repair vertical displacements accordingly.*

Walkways to ball field and basketball court

The walkway has cracks and vertical displacements greater than 1/4" (tripping hazards).

Minimum Compliance

- *Repair vertical displacements accordingly.*

Walkway in front of drinking fountain

The walkway has cracks and vertical displacements greater than 1/4" (tripping hazards).

Minimum Compliance

- *Repair vertical displacements accordingly.*

Junction of walkway to basketball courts

The joint has splayed and there are vertical displacements greater than 1/4" (tripping hazards).

Minimum Compliance

- *Repair vertical displacements accordingly.*

Walkway to ball field gate

The walkway has vertical displacements greater than 1/4" (tripping hazards).

Minimum Compliance

- *Repair vertical displacements accordingly.*

Gate into ball field

The gate does not open fully and the surface at the gate is inaccessible. The gate lacks a solid surface at bottom 18" of the push side of gate. A person using a wheelchair will get foot rests caught in mesh. Further, there is currently no accessible route from this entry gate to the score board or dugouts.

Minimum Compliance

- *Make gate accessible.*

Dugout - East side

The grade of the field is 1-3" below the concrete pad.

Minimum Compliance

- *Repair vertical displacements as soon as possible.*

Dugout - North side

The placement of the bleachers creates a pinch point with the adjacent fence, thereby blocking the accessible route to the other dugout.

Minimum Compliance

- *Ensure there is an accessible route around the bleachers in addition to 3' wide clear spaces on either end of the bleachers.*
- *Repair vertical displacements accordingly.*

Walkway from bleachers to Arlington St.

The walkway is narrow and there is not enough space to get around the bleachers. It is unclear why the walkway's width is so constricted given the width of the dugout pad and the desirability of additional space around the bleachers or room for additional bleachers.

Minimum Compliance:

- *Maintain a minimum width of 3' accessible path of travel with one 5'x5' passing spot.*

Field entrance along Arlington St.

The existing entry and adjacent vehicle gate have numerous obstacles including grading, cross slope, pavement deterioration, etc. The adjacent driveway apron is in complete disrepair and cannot be patched as is because even when new, it had portions which had a cross slope exceeding 14%.

Minimum Compliance

- *Establish an accessible entry.*
- *Replace the adjacent driveway apron such that there is a minimum of a 3' path of travel with a cross slope at or less than 2%.*

Arlington St. Heading to Mt. Auburn St.

The sidewalk and street appears to have some underlying drainage problems which are undermining the sidewalk.

Currently, the concrete pad is not level with the top of the curb and this is exacerbating the cross slope. The cross slope in numerous locations exceeds 2% and in some spots, approaches 5%. It is also unclear why the light pole is in the path of travel rather than along the curb or in the grass.

Minimum Compliance

- *The sidewalk should be torn up and replaced with a sidewalk with a cross slope at or less than 2%.*

Gear box

There is no accessible route to the gear box.

Minimum Compliance

- *Establish an accessible route to the box*
- *OR relocate the box to be along an accessible route.*

Walkway and entrance into basketball court from Mt. Auburn St.

The existing walkway exceeds ramp slope tolerances (1:12) but is treated as a walkway. The tree branches hang at eye level.

Minimum Compliance

- *Install an accessible walkway.*
- *Head up trees to 80" minimum.*

Intersection of Mt. Auburn and Arlington Sts.

The existing pedestrian signal buttons do not comply in dimension or force required for activation. They have no audible accessible features. The existing curb ramps have a variety of violations as well as drainage problems. Finally, the combination of excessive curb radii and lengthy crossing distances create a challenging pedestrian environment.

Minimum Compliance:

- *Replace pedestrian signals with code compliant signals.*
- *Bring curb ramps into compliance.*

Additional Recommendations:

1. Given the inherent limitations of the field location and the lack of adjacent open area, extensive expansion of field activities does not appear to be advisable. The continued practice of limiting practices to younger children will help keep fly balls out of the street, but adult supervision is necessary.
2. Add bathroom facilities

VICTORY FIELD



| | |
|-----------------------|-------------------------------|
| Address: | Orchard Street at Marion Road |
| Owner: | Town |
| Managed By: | Recreation Department, DPW |
| Public Grants: | None |
| A.D.A. Accessibility: | See Appendix A |
| Zoning: | OSC |
| Level of Protection: | Zoning |

Description:

This large, centrally located multi use complex is the Town's most extensive sports and recreation facility and is the home of the Watertown High School Athletic Program. Youth and adult formal and informal recreational and athletic activities are conducted at Victory Field in addition to community events such as the Watertown High School graduation. The facility is also used by outside groups for a fee, when not in use by our residents.



Main Stadium Facility

The main component of Victory Field, which is adjacent to Whitney Hill Park, was renovated in 2013 and includes a 160,000 square foot artificial surface that is utilized by residents and outside groups in many ways. Amenities include the artificial surface, lighting, baseball dugouts, bullpens,

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batting cage, stands for the multi-purpose field and baseball field, a press box, three score boards, storage, and ticket booths. A World War I cannon was renovated and relocated adjacent to the facility.

The field house is located in this section of the facility and includes locker rooms, coaches office, sports medicine room, snack shack and public bathrooms. This along with the multi-purpose stands, press box were renovated in 2003. The field house was renovated and is ADA compliant.

The facility is designed for optimal playability in all weather conditions for competitive athletic events in the sports of baseball, field hockey, football, lacrosse and soccer as well as open recreational play for our residents

Track, Field and Court Facility

The track and field side of the Victory Field Complex includes a multi-purpose grass field, a 400 meter track, one discus pad, a long jump area, high jump area, pole vault area, shot put area, several bleachers, five tennis courts, one basketball court, and one tot lot (renovated 2003). The tennis and basketball courts are lighted.

This facility is also used for active, recreational and community events and is the home for the high school and middle school track and field program, the tennis program and provides a secondary field for sub-varsity competition and practice as well as youth soccer and lacrosse.

The track is used extensively by residents of all ages and interests. Community events such as the "Relay for Life" have been held there on a regular basis.

Activity:

School Department baseball, field hockey, football, lacrosse, soccer, tennis, track and field
High school physical education classes
Recreation summer parks program and programming throughout the year
Formal and informal adult and youth athletic and recreational activities
Community events

Conditions and Key Issues:

The central location and good condition of the facilities makes this site very popular with Town residents. Indeed, on any given night during seasonable months it is likely that there will be several residents exercising on the track and multiple games or practices take place.

The main stadium section of the complex is in excellent condition and has been an enormous success and well worth the \$3,000,000 investment. \$300,000 was raised through private fundraising efforts. The playability and flexibility of the artificial surface has improved the quantity and quality of play for all users and lowered maintenance costs for the Town.

The track has become extremely popular among seniors who congregate during the day and early evenings to walk. The track and field side of Victory Field, along with the tennis, and basketball

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courts are in need of major renovation. Upgrades and new features should include: a natural or artificial surface, field, court track and parking lighting, track, and field amenities, upgraded tennis and basketball courts, additional parking, spectator seating, benches, tot lot resurfacing, appropriate storage units, and multiple accessibility adjustments.

The multi-purpose stands were replaced along with the press box. Unfortunately, the press box is not accessible to the disabled since the elevator is not in working condition.

Victory Field is irrigated. Fertilization needs are based on the results of annual soil fertility tests. Practice and game use should be monitored closely on this field in order to protect turf quality and reduce weed infestation.

However, this may be difficult to do so as this grass field is utilized by high school, youth and adult practices and games on a regular and scheduled basis. Consideration of installing an artificial surface with field lights would satisfy use requirements and would allow for multiple uses of the facility per day as needed as this field is integral part of the Town's main athletic and recreational complex.

| Characteristic | Rating | Comments |
|----------------------|-----------|---|
| Turf Density/Quality | 8 | Very Good |
| Thatch | <1/2 inch | Optimum |
| Weeds | 7 | Center Field-clover/crabgrass/chickweed |
| Compaction | 5 | Optimum for athletic fields |
| Tensile | 5 | Optimum for athletic fields |
| Disease | | None observed |
| Insects | | None Observed |

Additional Recommendations:

1. New track and field facility
2. New surface for the Mary Williams Shea tennis courts
3. New surface for the basketball court
4. Add new lighting
5. New tot lot surface
6. Install shade trees
7. Install bleachers and benches
8. Install signs to alert users of game and event schedules
9. Park needs storage building
10. Pave area from beginning of track straight to Marion Road
11. Additional parking spots including turn around opportunity
12. Consider synthetic grass in field lighting for inside the track
13. Internet Connection

ADA Minimum Compliance Recommendations:

Restrooms in field house
 Note the following areas of concern:
Minimum Compliance

- Sink pipes should be uniformly laid out as well as wrapped.
- Entry doors weight exceeds tolerances and do not meet ADAAG.

Ramp into rear of field house
 The ramp has a vertical lip at the bottom and is a hazard.
Minimum Compliance

- Remove vertical lip.

Slope to access road via double gate
 If this is a pedestrian entrance, the existing slope is too steep to be easily traversed.
Minimum Compliance

- Either replace existing slope with a ramp (or a 5% walkway) OR ensure an alternate accessible route is nearby.

Sloped walkway to lot adjacent to field house
 This walkway has a slope of approximately 10.7% but could be fairly easily re-graded and made into a ramp.
Minimum Compliance

- Either replace existing slope with a ramp (or a 5% walkway) OR ensure an alternate accessible route is nearby.

Refreshment stands serving window
 The window is 37" high which works for people standing however it is too high for a person seated in a wheelchair or scooter to utilize.
Minimum Compliance

- Either provide a lower counter OR raise the exterior grade approximately 4" so that the counter would then be no more than 34" high.

Pathway along basketball and tennis courts
 There is an informal pathway but it is not accessible. Seating options are limited.
Minimum Compliance

- All features must be connected by an accessible route.

Gate to courts
 A person using a wheelchair will get their foot rests caught in mesh. The gate does not open a fully because of the adjacent landscape grade and there is no connecting accessible route.
Minimum Compliance

- Make gate accessible.

Gate to track from parking area
 The path is not paved and obviously puddles.
Minimum Compliance

- Establish an accessible route from the parking lot to the track.

Bleachers and gate in between track and tennis courts
 There is no accessible route connecting the courts to the track and the bleachers are not located on an accessible route.

Minimum Compliance

- Establish an accessible route between the facilities.
- Add a concrete pad under the bleachers and extend it 4' on all sides of the bleachers.

Entry into play structure from track
 The sloped walkway does not provide a 5' level landing at the pull side of the gate. A person using a wheelchair will get their foot rests caught in gate mesh.
Minimum Compliance

- Remove gate OR make gate accessible and establish a 5' level landing.

Play structure
 The structure is, in general, accessible; however, there is only one transfer entrance/platform.
Minimum Compliance

- Add a transfer entrance.

Accessible walkway around play structure
 The Play structure, unlike others, has a wide walkway around it. The structure is fortunate to have trees around half of it to provide shade that could also shade future benches and picnic tables.
Minimum Compliance

- Head up trees to at least 8' so that when wet, they do not hang below 80".

Play structure entry gate and fencing along Orchard Street
 For scooter users or parents with double strollers, the entry is awkward because of its narrowness. A person using a wheelchair will get foot rests caught in mesh.
Minimum Compliance

- Make gate accessible.

Orchard Street sidewalks
 The existing sidewalks have a variety of tripping hazards including vertical displacements, holes and patches. The sidewalks are 54" wide but do not have passing locations (5' X 5'). From a practical standpoint, the sidewalks are not wide enough for two people to walk side by side comfortably and allow someone to pass. The planting strip is not level with the sidewalk - creating a tripping or twisted ankle hazard. Where the strip is compacted dirt, pedestrians are likely crossing Orchard Street despite the absence of a crosswalk.
Minimum Compliance

- Establishing 5' x 5' passing locations along the sidewalk at reasonable intervals not to exceed 200'.
- Repair sidewalks accordingly.

Track entrance along Orchard Street sidewalk
 This entrance is used frequently however there is no accessible route from the sidewalk to the track, despite a gentle slope. The gate is not accessible
Minimum Compliance

- Establish an accessible route from the sidewalk to the field.
- Make gate accessible.

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Track entrance at parking lot

The existing walkway is 11%. There is no level landing at the gate entrance.

Minimum Compliance

- Establish an accessible route from the sidewalk to the track.
- Establish an accessible route to the bench and trash can.
- If gate is kept, make accessible including a level landing and 18" clear space on latch side.

Additional Recommendations:

1. New track and field facility

2. Install shade trees
3. Install benches
4. Add new lighting
5. Install new irrigation system
6. Install signs to alert users of game and event schedules
7. New surface for the Mary Williams Shea tennis courts
8. New surface for the basketball court
9. Park needs storage building
10. Put up signs to alert of games and events
11. Pave area from beginning of track straight to Marion Road
12. Consider synthetic grass on football/baseball field/soccer/lacrosse

WATERTOWN SQUARE - COLUMBUS DELTA



| | |
|------------------------------|---|
| Address: | Watertown Square |
| Owner: | DPW |
| Managed By: | None |
| Public Grants: | None |
| A.D.A. Accessibility: | Accessing delta is an issue; once on the parcel, it is accessible |
| Zoning: | Central Business |
| Level of Protection: | Zoning |

Description:

Passive recreation area.

Condition Assessment and Key Issues:

Well maintained landscaping.

Recommendations:

This park has substantial pedestrian activity along the perimeter and some cross-park pedestrian activity. The town should look at pedestrian access and consider ways to activate the Delta without decreasing the pervious aspects of the area which would be detrimental to existing vegetation.

WHITNEY HILL PARK



| | |
|------------------------------|--|
| Address: | Northwest of Marion Rd and Marshall Street |
| Owner: | Town |
| Managed By: | Conservation, DPW |
| Public Grants: | |
| A.D.A. Accessibility: | |
| Zoning: | OSC |
| Level of Protection: | Article 97 |

Description:

This wooded site abuts the Victory Field complex, the Department of Public Works (DPW) facility, and a residential community to the south and east. Two identifiable unpaved paths traverse this hillside park. The site is the only naturally wooded site of this size in the Town.

Condition Assessment and Key Issues:

Since the site has no maintained paths it does not require extensive DPW attention, however trash pickup and occasional tree maintenance is required. There is evidence of illegal dumping at the western edge of the site by Marlboro Terrace.

Recommendations:

This site offers a passive recreational setting for birdwatchers and those out for a brief stroll, but the size and isolation of the site makes extensive use for additional activities unlikely. Maintenance practices should be adjusted to provide adequate monitoring of illegal dumping, particularly at the path entrance along Marlboro Terrace.

A management plan for the site provided by the Conservation Commission will allow for removing some non-native plants, adding more native species and establishing understory growth, in partnership with Watertown High School science students.

D. STATE AND FEDERALLY OWNED OPEN SPACE PARCELS

DCR PROPERTY

(Former General Services Administration site) at Greenough Boulevard and Arsenal Street



| | |
|------------------------------|---|
| Address: | Greenough Boulevard and Arsenal Street |
| Owner: | Department of Conservation and Recreation |
| Managed By: | Department of Conservation and Recreation |
| Public Accessibility: | None |
| Public Grants: | |
| A.D.A. Accessibility: | N/A |
| Zoning: | Industrial |
| Level of Protection: | Activity & Use Limitations, Wetlands Protection Act |

Description:

This wedge shaped parcel is approximately 12 acres and is located near the intersection of Arsenal Street and Greenough Boulevard. The site was formerly part of the Watertown Arsenal and was used for the storage of various materials including radiological waste. The site has been cleared of most of the contaminants and those that remain have been permanently capped. The capped area is a vegetated upland. A large portion of the site has been restored as a wetland area along the existing stream.

Conditions and Key Issues:

A perennial stream runs through the site from Sawins Pond. An Activity and Use Limitation has been written into the deed to cover the capped contaminated area.

Recommendations:

- Work with DCR to plan and prepare a pathway to safely access the property.

CHARLES RIVER RESERVATION



| | |
|------------------------------|---|
| Address: | Southern Watertown Boundary |
| Owner: | Department of Conservation and Recreation |
| Managed By: | Department of Conservation and Recreation |
| Public Accessibility: | Unlimited |
| A.D.A. Accessibility: | |
| Zoning: | Open Space Conservancy |
| Level of Protection: | Zoning, wetlands protection (Conservation Commission) |

Description:

The majority of the four mile southern boundary of Watertown is made up by its most important environmental resource, the Charles River. The property abutting either side of the river in Watertown is owned and maintained by the Department of Conservation and Recreation and is

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commonly known as the Charles River Reservation. In Watertown, the Reservation can be identified by various sections along the Charles River, totally about 70 acres of land.

The Watertown Dam is located just west of Watertown Square. The dam demarcates the boundary between the Upper Charles Reservation, which extends to West Roxbury, and the Charles River Basin, which extends to the Charles River Dam in Boston. Within those two sections are various amenities and lookout areas to observe a multitude of wildlife that isn't typically seen this close to a highly urbanized location.



Figure 13 - Charles River

Starting in the Upper Charles Reservation and going west to east one can find the Blue Heron Bridge that was completed in 2005. It is a pedestrian suspension bridge crossing the Charles River as part of the river walk. The next stopping point is Cannalunga Park. This park sits near the Charles River, off Pleasant Street. Cannalunga Memorial Park has four tennis courts and two bocce courts. Visitors can have a picnic in a grassy area, relax on a bench or take a short stroll along a tree-lined path. The park is dedicated to Sgt. Thomas J. Cannalunga, the first Italian-American from Watertown killed in action during World War II. The Clarence W. Dealtry Memorial Pool is a popular location during the summer months. It is located just off Pleasant St and just west of the Watertown Dam. It sits on the edge of the Charles River allowing for excellent views of the river while cooling off under the hot summer sun.

Watertown Square is the first stop after the dam. It is the busiest location along the river in Watertown. There are local shops and restaurants to visit before heading over to the Watertown Landing. The Landing is part of the area known as Charles River Park in Watertown and is located just off Galen Street and Charles River Road. This portion of the park was restored in 2012 including the dock itself as it washed away in the flooding that took place in 2010.

Conditions and Key Issues:

The restoration project has been phased into two parts. Phase I which is currently under construction starts at the Landing area and finishes just after the Farren playground. The concern is the poor pathway conditions after the playground heading east. With much interest in Phase I, the hope is the DCR, perhaps with the help of other partners like the Town of Watertown and the Perkins School for the Blind, will be able to fund the Phase II portion of the project which will consist of new pathways and overlooks between the Farren playground and the Watertown Yacht Club.

Recommendations:

- Identify sources of funding to complete Phase II of Restoration project for Riverfront Park.
- Identify and coordinate with local volunteer groups (Charles River Conservancy, Friends of Riverfront Park, Trees for Watertown and others) for help with invasive species management, park clean-ups.

SECTION 6 - COMMUNITY GOALS

A. DESCRIPTION OF PROCESS

The Open Space and Recreation Plan Update was developed concurrent with the 2014 Comprehensive Plan. As described in Section 2, there was a robust public process during the preparation of the Comprehensive Plan, including several public forums and the use of an online public input tool called MindMixer. Open space and recreation issues were addressed in all of these forums and numerous suggestions were made that are incorporated into this Plan.

One MindMixer question asked participants to identify their major concerns regarding the Town's recreational and natural open spaces. The responses, listed in order of frequency, included:

- Connectivity of open spaces
- Pruning, clearing and mowing
- Trash collection
- Overall condition of fields and equipment
- Vandalism/graffiti
- Invasive plants
- Limits on use
- Insufficient playground facilities/athletic fields
- Lack of parking
- Dogs (cleanup, disturbance to others)

The Town is looking to address these concerns through its ongoing and planned upgrades. The Section 5 inventory details the projects completed since the last plan and the Action Plan in Section 9 includes additional scheduled improvements identified in the Town's Capital Improvement Plan.

Next, visitors to the MindMixer site were asked what type of facility the Town needs more of. The responses to that question included:

- Walking/bike trails
- Community gardens
- Canoeing/kayaking
- Neighborhood parks
- Dog parks
- Spray parks
- Picnic areas
- Children's playgrounds

The Town's goals and objectives for this Plan and the Comprehensive Plan, along with planned

improvement and actions items, are geared toward addressing many of these comments. Moreover, projects relating to the Charles River and bicycling and walking paths address these issues as well.

Town residents were also asked to identify the open space and recreational that they visit most frequently. Charles River Reservation, Mt. Auburn Cemetery, Victory Field, Saltonstall Park, Filippello Park, Gore Place, Moxley Playground, and Dealtry Pool were mentioned the most. People liked these facilities because they provided peaceful, pleasant, attractive areas; mixed use areas for walking and playing; water views and access; community playgrounds and meeting spaces; bird/animal habitats; aesthetics; playing fields; and were dog-friendly.

B. STATEMENT OF OPEN SPACE AND RECREATION GOALS

Watertown's open space resources are being eroded by the pressures of incremental development. The Town has limited public open and recreational space under its stewardship that must be protected and preserved for future generations. Opportunities for the Town to acquire additional open space should be pursued. The fiscal realities of the Town may preclude the possibility of large scale public acquisition of additional open space resources. The Town has developed the following goals to maximize the available resources to their fullest potential while also attempting to stem further loss of additional open space through more restrictive policies regarding privately owned properties. The updated goals are as follows:

1. Improve the amount, accessibility, and condition of Watertown's recreational resources.
2. Preserve, protect, and enhance publicly owned conservation, passive, and active open space.
3. Encourage private land owners to permanently preserve open space on their parcels.
4. Create new opportunities for recreational access along the Charles River, such as boating, trail networks, bicycling, and appropriate related amenities.
5. Aggressively seek new funding sources for the enhancement and maintenance of the Town's open space and recreation resources.
6. Make Watertown friendlier to pedestrians and bicyclists and promote active and healthy lifestyles.
7. Improve the urban forest.
8. Improve outreach and education.
9. Improve safety in open space and recreational areas.

Given the stated goals and objectives of this plan to "improve the amount, accessibility and conditions of Watertown's recreational resources", the Town has developed the following ranked inventory of parcels that should be incorporated into the Town's open space and recreation system (see "Seven Year Action Plan Map"). Strategies and coordination within various Town commissions, departments, and boards will be needed to facilitate the acquisition of these parcels.

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Ranked Future Acquisition Inventory

1. Any purchase of land that would facilitate a bike path west or east of Watertown Square (Watertown Community Path).
2. Sawin's Pond to Williams Pond Greenway.
3. Remaining parcel along the south side of Walker Pond (near former Raytheon site at the western border with Waltham).
4. Any parcels that become available along Grove Street to expand Filippello Park.
5. Pocket parks wherever possible.
6. Gore Estate from Main Street to Waltham Street bordered on the west by a brook and the east by the rear of homes on Edward Road.

SECTION 7 - ANALYSIS OF NEEDS

A. SUMMARY OF RESOURCE PROTECTION NEEDS

Urban Forest:

Watertown needs to continue to improve the health and quantity of town-owned trees which currently includes new plantings and should consider pruning for health of the urban forest. The Town should continue the tree inventory, listing the species, size, age, health, and location of each tree and ensure the management plan is kept up to date.

Wetlands Protection:

Watertown's Conservation Commission is responsible for the protection of wetlands under the Massachusetts Wetlands Protection Act (G.L. C. 131, §40), but the town lacks precise information about its wetlands and vernal pools. Under the Town's current zoning bylaws, development within 150' of a wetland is restricted from various uses or development. But proper delineation, mapping, and documentation of the Town's wetlands, floodplains and vernal pools is a critical need for protecting these resources.

Ponds:

There are several ponds that are uncared for and polluted, with the exception of those located on the grounds of Mt. Auburn Cemetery. Those ponds, such as Sawins, Williams and part of Walker ponds are so obscured by vegetation that they are largely "out of sight and out of mind". This needs to be rectified through proper clean up and oversight, although this may be difficult to achieve due to private ownership.

Charles River:

The river and its walkways are a tremendous asset to the Town that requires ongoing stewardship. The Town needs to continue to foster its relationship with DCR to ensure that the conditions of the Charles River and its environs continue to improve. Discharging untreated waste into the municipal storm sewers is illegal however sampling performed for the EPA various sewer outfalls into the Charles River has shown at times that some waste has flowed into the river. Watertown needs to monitor outfalls under various conditions to identify sources of contamination, treat the illegal and/or malfunctioning sewer hookups aggressively, and perform ongoing testing to address any new problems swiftly.

B. SUMMARY OF COMMUNITY NEEDS

Given Watertown's relatively small size and its dense population, there is always going to be the need to preserve and maintain existing open space and to expand open space opportunities to the extent possible. Opportunities such as improved access and visual connection to the Charles River will enhance an underutilized community resource. The need for open space also drives an

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interest in converting unused/underutilized sites like the GSA to open space. Previous surveys captured several comments from residents including:

1. Acquire strategically located open space
2. Start a fund to buy up land for more open space;
3. Educate children about open space and the environment
4. More coverage in the Watertown Tab of all river/open space/conservation issues
5. Clean up Sawin Pond area, negotiate conservation easement, tie into GSA property
6. Maintain parks and open space
7. Lack of awareness of the existing open space in Town of Watertown
8. Need more police patrols in bike path, open space, river, parks areas
9. Improvements to river
10. Add more trees
11. Boating and other opportunities along the Charles River
12. Community Gardens

Parks and Playgrounds

Watertown maintains 13 multi-purpose parks and playgrounds. The size of these parks range from one acre at the Cunniff Elementary School to 14 acres at Filippello Park, which was recently upgraded.

There are 16 tennis courts and 15 basketball courts with approximately half of those facilities having lights for seasonal evening use. The Town also has two street hockey courts and one skate park for all skill levels. There are nine little league size baseball / softball fields, two major league size baseball fields, and one football field with stands that can accommodate 1,500 spectators.

There are 15 tot-lots (many of which are located within the Town's park and recreation facilities) that have or will have a rubberized safety surface and new equipment. There is a 400-yard walking path at Filippello Park where young children can also ride there small bicycles.

The John A. Ryan Skating Arena is a NHL-size skating rink owned and operated by the Town of Watertown. This important venue serves as the home to a number of youth and adult hockey leagues, as well as high school and collegiate school teams. The arena has a seating capacity for 1,250 spectators. It is generally open from August until April the following year and can be rented out for events such as birthday parties.

The Town is also the location for Dealtry Pool, which is an outdoor facility owned and operated by DCR in the west end of Watertown. The pool is equipped with an adult lap section as well as a wading pool for younger swimmers.

Due to the demand for park and field use, the Recreation Department has instituted a permit application policy for the use of fields, picnic areas, ice time at the Ryan Arena, and other facilities. These are typically issued on a first-come first-served basis.

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Indoor recreational facilities are maintained by the School Department and rented to the Recreation Department for their use. The Department of Public Works is charged with maintaining the outdoor recreational facilities, although there is also some outside assistance provided by the adult youth and adult leagues, as well as private organizations that provide stewardship to specific parks.

In addition to the recent improvements to Victory Field, other scheduled facility upgrades include tennis court enhancements and a multi-purpose field in Casey Park, energy efficiency improvements at several locations, playground renovations behind the police station, improvements to the Grove Street entrance at Filippello Park, and upgrades at Moxley Park.

ADA

The Town of Watertown has a significant number of elderly and handicapped residents and visitors who depend on open space and recreation facilities as much as or more than others. Though the recent technological advances in mobility and sports equipment provides significant opportunities for handicapped and elderly to enjoy outdoor recreation and activities, one of the most critical needs for many are simply finding access to open space. Many of the open spaces in Watertown and other older communities are antiquated in providing barrier-free access from parking and sidewalks to recreational facilities. Special provisions for the handicapped and elderly should be provided whenever a playground or other recreational facility is scheduled for renovation, and is required by the Americans with Disabilities Act (ADA). During the 2005 open space planning process the Town contracted with Adaptive Environments to undertake an assessment of Town recreational properties to determine compliance with the requirements of the Americans with Disabilities Act and the Massachusetts Architectural Access Board. The majority of issues centered on the need to upgrade and maintain facilities to meet ADA requirements including accessible route and/or entrances; appropriate curb ramps at intersections and entrances; and correcting excessive slopes on sidewalks and pathways. The study also noted opportunities to improve conditions that go beyond minimum compliance with state and federal regulations, and incorporate more comprehensive understanding of all of the users within the Town's pedestrian and open space system. While a number of improvements have been made, including new accessible streets and sidewalks at or near open space and park areas, the Town needs to continue its program to meet ADA standards. The Town is planning on updating the ADA assessment in 2016.

Recreation Programs

The Watertown Recreation Department has a robust recreation program for residents of all ages. It estimates that over 2,000 residents are served through these programs annually, which are seasonal - some of them are indoors. The highest demand occurs in the summer, when the Town hires over 90 seasonal employees to run the programs to supplement the 15 - 20 year-round part-time and three full-time employees.

The schedule includes after-school programs at each elementary school, seasonal sports for youth and adults, lessons and clinics, crafts, and theater programs. Watertown Recreation collaborates

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with Belmont Recreation to service Special Persons Organized for Recreation Time (SPORT), a special needs program. Funding is provided by the Towns of Belmont and Watertown, as well as user fees and private donations.

SCORP

In 2012, the Executive Office of Energy and Environmental Affairs completed the Massachusetts' Statewide Comprehensive Outdoor Recreation Plan (SCORP) to help guide the distribution of federal funding from the Land and Water Conservation Fund (LWCF) to state agencies and municipalities for the acquisition of open space, renovation of parks, and development of new parks. The SCORP is a planning document that discusses the available recreational resources in a state, as well as its needs, and identified the gaps between the two.

Goals and action steps were developed after distilling all of the information gathered through the public participation process. These four goals include:

1. Increase the availability of all types of trails for recreation.
2. Increase the availability of water-based recreation.
3. Invest in recreation and conservation areas that are close to home for short visits.
4. Invest in racially, economically, and age diverse neighborhoods given their projected increase in participation in outdoor recreation.

These goals will meet the needs of Massachusetts residents, but also the goals of America's Great Outdoors (AGO) for investments in urban parks and community green spaces. Multiple SCORP goals also coalesce with the Commonwealth's desire to increase the share of cyclists and pedestrians among Massachusetts transportation choices.

Most importantly, the SCORP goals are consistent with the goals and objectives of this OSRP as described in Sections 6 and 8. For example, the Town is expanding its trail network and connections to other existing trails along the Charles River corridor (i.e. the Watertown-Cambridge Greenway). Additionally, the 552 Main Street Park Improvement project is located in an area identified as an environmental justice neighborhood. Finally, as noted earlier, many of the Town's diverse conservation and recreation opportunities are located in close proximity to the Town's residents.

C. MANAGEMENT NEEDS

Given the land use and development history of Watertown, additional acquisition of substantial new open space parcels is unlikely. Therefore, the Town's efforts are focused on maintaining and enhancing its existing open space and recreation inventory. Town residents recognize that parks, open spaces and trees create a high quality of life in Watertown and place a high value on these resources.

In an effort to extend the availability of fields and courts in the Town's parks, artificial turf was installed at Victory Field. There was also discussion about using artificial turf on other fields, including the field with the track at Victory Field. In 2014, several meetings were held and ultimately, the Town Council determined that the field inside the track shall remain natural grass. The use of artificial turf may be more expensive to install, but it can reduce maintenance needs and expenses in the long run, which may lengthen the amount of available playing time because artificial turf stands up to heavy use and requires no irrigation or trimming.

Additionally, four fields are lighted, as are numerous basketball and tennis courts, to extend the number of hours of available playing time.

Thus, continuing to maintain and enhance these services represent a challenge to the Town's Recreation Department and DPW. There is a solid relationship with the Parks Department within the DPW for field grooming, repairs and striping, equipment repairs, and the upgrading of picnic facilities. The Recreation Department has programmed some improvement projects for the next couple of years. In the longer term, the Department will be addressing the following issues:

- Coordinate more with the senior center on programs for the elderly
- Partner with clubs and other private groups such as the Boston Ski and Sports Club on programming
- Establish a Park Ranger program that can welcome visitors, assist with parking, check field permits, etc.
- Work with sports leagues on maintenance sites recognizing that some fields are overused because demand outstrips the supply of fields (a problem that is exacerbated when inclement weather forces cancellations). Fees for field use and recreation programs cover much, but not all, of the maintenance required.
- Recreation coordinates on Health and Wellness with the School Department to coordinate programs for youth. Recreation wants to continue to integrate programs with the schools, particularly to promote public health.
- Offer a more diverse range of programming
- Work with the Bicycle and Pedestrian Committee
- Establish and monitor several dog parks within the town and adjust regulations as necessary.

The Parks Division of the Department of Public Works handles all maintenance needs at 88 acres of town grounds, parks and recreational facilities comprised of 12 baseball fields, seven soccer

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fields, one field hockey field, one football field and two water parks (one at Filippello Park and another at Arsenal Park), and including picnic tables, cookout grills and public rest rooms. The Division interfaces with all groups using the facilities, and accordingly marks playing grounds for all baseball, football, field hockey and soccer games played by High School, Recreation Department and youth groups in the spring and fall.

Users of the Town's athletic fields need to ensure that field practices rotate between various field areas rather than limiting practices to one area of the field, causing soil compaction, reduced turf density, and overall poor surface conditions. They also need to be held responsible for improper uses such as practicing in the rain, causing surface conditions to quickly degrade resulting in the need for significant field repair. Management practices should include vigorous discipline by mechanisms such as barring future field use permits and fines for field repairs for teams that needlessly degrade the fields.

The Division uses the services of outside contractors to assist in parks maintenance and turf maintenance.

SECTION 8 - GOALS AND OBJECTIVES

The goals and objectives of this plan provide the framework for a seven-year action plan for open space and recreational projects. As stated in Section 2, the primary purpose of this plan is to provide a consistent policy directive for Town agencies to reference to ensure that Watertown's open space and recreational resources are not lost due to the pressures of development or to uncoordinated individual actions that lose sight of the cumulative effects that these actions may have on the entire open space and recreational system.

The goals and objectives were derived from the 2014 Comprehensive Plan process, the Open Space and Recreational Plan Survey and the input of the community after reviewing the 2005 Plan and current needs.

GOALS

1. Improve the amount, accessibility, and condition of Watertown's recreational resources.
2. Preserve, protect, and enhance publicly owned conservation, passive, and active open space.
3. Encourage private land owners to permanently preserve open space on their parcels.
4. Create new opportunities for recreational access along the Charles River, such as boating, trail networks, bicycling, and appropriate related amenities.
5. Aggressively seek new funding sources for the enhancement and maintenance of the Town's open space and recreation resources.
6. Make Watertown friendlier to pedestrians and bicyclists and promote active and healthy lifestyles.
7. Improve the urban forest.
8. Improve outreach and education
9. Improve safety in open space and recreational areas.

OBJECTIVES

Goal 1. Improve the amount, accessibility, and condition of Watertown's recreational resources

1. Acquire open space, particularly spaces that would enhance and leverage existing resources in under-represented sections of the Town.
2. Continue to make improvements to the parks and fields.
3. Increase recreational space at the Charles River.
4. Provide more swimming options.

Goal 2. Preserve, protect, and enhance publicly owned conservation, passive, and active open space.

Objectives

1. Acquire and seek permanent protection of public open space.
2. Make all of Walker Pond accessible to the public and expand open space in the vicinity of Walker Pond.
3. Discourage development, other than recreation, on publicly owned open space.
4. Develop pocket parks.
5. Explore locations for community gardens and outdoor classrooms.
6. Finalize the design and development of the former incinerator site to be part of Filippello Park.
6. Develop a landscaped traffic island adoption program by private businesses.
7. Pursue acquisition and/or public access to Sawin's and Williams Ponds.
8. Develop and maintain dog parks where practicable.

Goal 3. Encourage private land owners to permanently preserve open space on their parcels.

Objectives

1. Increase amount of dedicated open space land for new and redeveloped properties.
2. Encourage and maintain plantings in parking areas and sidewalk planting strips.

Goal 4. Create new opportunities for recreational access along the Charles River, such as boating, trail networks, bicycling, and appropriate related amenities.

Objectives

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1. Enhance pedestrian and bicycle access along the Charles River.
2. Support making Greenough Boulevard safer for active and passive recreation.
3. Increase water-based activities at the Charles River.
4. Improve safety for pedestrians wishing to access the river path in all areas, with special attention to the crossings at Watertown Square.
5. Make Watertown Yacht Club area more accessible to the public.

Goal 5. Aggressively seek new funding sources for the enhancement and maintenance of the Town's open space and recreation resources.

Objectives

1. Increase ability to acquire, preserve and rehabilitate open space and recreational facilities.

Goal 6. Make Watertown friendlier to pedestrians and bicyclists and promote active and healthy lifestyles.

Objectives

1. Develop multi-use path connections (i.e. Watertown Community Path and the Watertown-Cambridge Greenway).
2. Make sidewalks passable for pedestrians in winter.
3. Evaluate ways to improve difficult street crossings throughout Town.
4. Improve sidewalks throughout the Town.
5. Do not allow parking on sidewalks.
6. Promote fitness and encourage walking.

Goal 7. Improve the urban forest.

Objectives

1. Increase tree planting on public property.
2. Minimize harm to trees from road salt.
3. Minimize removal of large caliper trees.
4. Build sidewalks and curbs in a manner to facilitate tree plantings.
5. Encourage trees on private property.
6. Encourage native fauna.
7. Create shaded areas.
8. Ensure landscape plans for public space are appropriate to the setting.

Goal 8. Improve outreach and education.

Objectives

1. Improve Charles River path signage and other wayfinding signage throughout

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town.

2. Disseminate information about open space on the Town website.
3. Improve education for dog owners on proper waste disposal techniques.
4. Communicate with public regarding progress with Plan implementation.
5. Provide improved education and signage for bicyclists, pedestrians and motorists.

Goal 9. Improve safety in open space and recreational areas.

Objectives

1. Make emergency services accessible to users of open space.
2. Make parks safe at night.
3. Improve safety along Greenough Boulevard between Arsenal and North Beacon Streets.
4. Reduce harmful effects of pesticide use.

SECTION 9 - SEVEN- YEAR ACTION PLAN

The purpose of this section is to establish an action plan addressing Watertown's open space and recreational needs within the context of the Town's stated goals and objectives. The Action Plan is arranged sequentially beginning with the first goal and the associated objectives to facilitate the achievement of this goal. The plan can be read as follows under "Actions": 1-1-1 references the first action that addresses the first objective of the first goal; 1-1-2 references the second action that addresses the first objective of the first goal and so on. The final column provides the timetable that the proposed action is to take place (see "Seven-Year Action Plan Map"). Short-term recommendations fall within the 2015-2016 timeframe; mid-term recommendations fall within the 2017-2019 timeframe; and long-term recommendations fall within the 2020-2022 timeframe.

Some of the objectives in the seven-year action plan respond to the issue of acquiring and permanently protecting open space and establishing more recreational opportunities in Watertown. Some of the smaller actions can be accomplished through the Town's general fund, but many of the others will require additional assistance. There are many opportunities at the state and federal level for obtaining technical and funding assistance for parks and open space in urban locations such as Watertown. Watertown has considered several opportunities in order to access assistance for conservation, open space, and recreation purposes, and will continue to investigate sources as they become available:

Local Acquisition for Natural Diversity (LAND) grant program - This program provides funds to municipal conservation commissions for the purchase of conservation land. Several sensitive parcels in the Town have been reviewed as potential candidates for this grant program.

Parkland Acquisition and Renovation for Communities (PARC) grant program - The PARC program assists communities with the acquisition of parkland, as well as construction of new parks and renovation of existing parks. With the completion of the ADA survey conducted on the Town's major parks and recreation areas, the potential for applying this type of grant to the improvement and provision of handicap access is clear. Many of the parks in Town could be vastly improved for use by the whole population by providing these types of improvements.

Community Preservation Act - The Community Preservation Act provides new funding sources which can be used to address three core community concerns: Acquisition and preservation of open space; Creation and support of affordable housing; and Acquisition and preservation of historic buildings and landscapes. The act establishes a significant state matching fund, which serves as an incentive to communities to pass the CPA. The CPA must be adopted by the Town by ballot to adopt the Act. This funding could potentially be used for open space acquisition in parts of the Town which need more recreation and open space resources. Watertown placed the CPA on the ballot as a 2% real estate tax levy in 2005 and it was defeated and has not been on the ballot since.

National Park Service/ Rivers, Trails, and Conservation Assistance Program - The program offers

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technical assistance only to nonprofit organizations, community groups, and local or state government agencies. The program's technical staff offers assistance for recreation and conservation projects in building partnerships, assess resources, develop concept plans, engage public participation, identify potential sources of funding, create public outreach, organizational development, and provide conservation and recreation information.

Department of Conservation & Recreation (DCR)/ Recreational Trails grant program - The Recreational Trails Program provides funding support for a variety of trail protection, construction and stewardship projects throughout Massachusetts. This national program makes funds available to states to develop and maintain recreational trails and trail-related facilities for non-motorized and motorized recreational trail uses. Watertown has submitted grant applications for this program in the past and considers it a good match for implementing many portions of the Watertown Community Path.

GOAL 1: IMPROVE THE AMOUNT, ACCESSIBILITY, AND CONDITION OF WATERTOWN'S RECREATIONAL RESOURCES

| Objective | Actions | Year/Department/ |
|---|--|--|
| <p>1-1 Acquire open space, particularly spaces that would enhance and leverage existing resources in under-represented sections of the Town.</p> <p>Funding: Town, PARC, LAND</p> | <p>1-1-1 Identify potential locations for small parks, tot lots, pocket parks, etc.</p> <p>1-1-2 Seek permanent protection for public and private open space and recreation parcels.</p> <p>1-1-3 Identify funding and create a design to implement the Watertown Community Path.</p> <p>1-1-4 Design and implement a connector through Arsenal Park between the Watertown-Cambridge Greenway and the Charles River Greenway</p> | <p>Ongoing/Recreation PARC</p> <p>Ongoing/Planning</p> <p>Short-term/Planning</p> <p>Short-term/Planning</p> |
| <p>1-2 Continue to make improvements to the parks and fields.</p> <p>Funding: Town, PARC</p> | <p>1-2-1 Develop comprehensive management plans for each major town-owned facility.</p> <p>1-2-2 Seek better coordination with outside groups to leverage park and field maintenance and stewardship.</p> <p>1-2-3 Provide more trash barrels in all open spaces and ensure frequent</p> | <p>Short-term/Recreation</p> <p>Ongoing/Recreation</p> <p>Ongoing/DPW</p> |

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| Objective | Actions | Year/Department/ |
|--|--|---|
| | <p>trash collection.</p> <p>1-2-4 Add and repair irrigation systems to the Town’s playing fields.</p> <p>1-2-5 Continue to upgrade the Town’s open space and park facilities to meet new safety and disability standards.</p> <p>1-2-6 Establish standards and follow maintenance plan for parks</p> <p>1-2-7 Implement repairs and upgrades identified in the currently adopted CIP</p> <ul style="list-style-type: none"> • improvements at Bemis, Lowell, O’Connell, Arsenal, Moxley and Victory Track) • Casey lights and scoreboard, Arsenal and Filippello spray park • Cunniff, Filippello lights and scoreboard, Sullivan playgroundFilippello pavilions, Arsenal tot lot, Saltonstall playground Victory Field House • Arsenal court, parking, lights <p>1-2-8 repair or replace water fountains</p> <p>1-2-9 Continue to inventory playground equipment on a regular basis</p> <p>1-2-10 Establish Level of Service (LOS) standards for park and recreation programs and fields.</p> | <p>Ongoing/Recreation PARC, Town funding</p> <p>Ongoing/Recreation, DPW Town funding</p> <p>Ongoing/DPW, Recreation</p> <p>2016/Recreation CIP funding</p> <p>2017/Recreation CIP funding</p> <p>2018/Recreation CIP funding</p> <p>2019/Recreation CIP funding</p> <p>2020/Recreation CIP funding</p> <p>Ongoing/Recreation Town funding</p> <p>Ongoing/Recreation</p> <p>Ongoing/Recreation</p> |
| <p>1-3 Increase recreational space at the Charles River</p> <p>Funding: Town, DCR grant program, National Park Service programs,</p> | <p>1-3-1 Consider closing a section of Charles River Road on Sundays from April through November for the use of cyclists, pedestrians, or for other programmed events.</p> | <p>Ongoing/DCR</p> |
| <p>1-4 Provide more swimming options</p> <p>Funding: Town, DCR grant program, volunteer hours</p> | <p>1-4-1 Encourage DCR to fund a longer season and longer hours at the Dealtry Pool.</p> | <p>Ongoing/Recreation</p> |

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GOAL 2: PRESERVE, PROTECT, AND ENHANCE PUBLICLY OWNED CONSERVATION, PASSIVE, AND ACTIVE OPEN SPACE.

| Objective | Actions | Year/Department |
|---|--|--|
| <p>2-1 Acquire and seek permanent protection of open space.</p> <p>Funding: Town, LAND</p> | <p>2-1-1 Establish a program to actively pursue the acquisition of open space for preservation purposes</p> <p>2-1-2 a) develop and formalize a policy to ensure that properties that the Town acquires through tax default are considered for open space before resale or re-development. b) develop and advertise a conservation restriction easement program.</p> | <p>Ongoing/ Planning, Recreation, Conservation</p> <p>Ongoing/Town Manager, Assessor's, Planning, Conservation, Zoning</p> |
| <p>2-2 Make all of Walker Pond accessible to the public and expand open space in the vicinity of Walker Pond.</p> <p>Funding: Town, volunteer hours</p> | <p>2-2-1 Planning Department should work with the landowner and lease holders to explore mechanisms to achieve this goal.</p> | <p>Short-term/Planning Dept.</p> |
| <p>2-3 Discourage development, other than recreation, of publicly owned open space.</p> <p>Funding: Town</p> | <p>2-3-1 Formalize town policy through D.P.W. to allow the paving of additional Town- owned open space only where there is a demonstrated circumstance that necessitates the paving of these areas (e.g., emergency/maintenance access).</p> <p>2-3-2 Verify that all public open areas are legally protected to the maximum extent possible.</p> | <p>Ongoing/DPW/Town Council</p> <p>Short-term/Conservation/Legal</p> |
| <p>2-4 Develop pocket parks.</p> <p>Funding: Town, PARC, volunteer hours</p> | <p>2-4-1 Establish a "pocket park" program to encourage public/private open space in neighborhoods.</p> | <p>Ongoing/Planning, Recreation</p> |
| <p>2-5 Explore locations for community gardens.</p> <p>Funding: Town, volunteer hours</p> | <p>2-5-1 Consider incorporating community gardens into existing and new parks.</p> | <p>Ongoing/Planning, Recreation</p> |

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| Objective | Actions | Year/Department |
|--|---|---|
| 2-6 Finalize the design and development of the former incinerator site to be part of Filippello Park. Funding: Town, PARC | 2-6-1 Develop to best serve needs of the Town. If practical, coordinate landscaping with owners of property in the area. Give consideration to both active and passive recreation. | Ongoing/Planning, Conservation, Recreation. DPW |
| 2-6 Improve appearance of traffic islands and strips. Funding: Town | 2-6-1 Develop a landscaped traffic island adoption program by private businesses and civic organizations. | Ongoing/DPW |
| 2-7 Pursue acquisition and/or public access to Sawins and Williams Ponds. Funding: Town, | 2-7-1 Enter into discussions with private owner. | Mid-term/Planning, Town Council |
| 2-8 Develop and maintain dog parks where practicable. Funding: Town, volunteer hours | 2-8-1 Continue to maintain the dog park at Howe Park and ensure the dog park at Bell Watertown remains open to the public. Further, locate a dog park in the eastern side of town (consider Filippello Park). | Short-term and Ongoing/Parks, Planning |

GOAL 3: ENCOURAGE PRIVATE LAND OWNERS TO PERMANENTLY PRESERVE OPEN SPACE ON THEIR PARCELS.

| Objective | Actions | Year/Department |
|--|--|-----------------------------------|
| 3-1 Increase amount of dedicated open space land for new and redeveloped properties. Funding: n/a | 3-1-1 Consider options to require open space to be set aside for new or redeveloped residential and commercial land especially along the Arsenal and Pleasant Street corridors Look for opportunities to establish new public open spaces to serve those developments and the Town. | Short-term/Planning, Town Council |
| 3-2 Encourage and maintain plantings in parking areas and sidewalk planting strips. Funding: Town | 3-2-1 Monitor plant maintenance. | Ongoing/Planning, DPW |

GOAL 4: CREATE NEW OPPORTUNITIES FOR RECREATIONAL ACCESS ALONG THE CHARLES RIVER, SUCH AS BOATING, TRAIL NETWORKS, BICYCLING, AND APPROPRIATE RELATED AMENITIES.

| Objective | Actions | Year/Department |
|---|---|--|
| <p>4-1 Enhance pedestrian and bicycle access along the Charles River.</p> <p>Funding: Town, DCR grant program</p> | <p>4-1-1 Work with DCR to finalize and implement recommendations for the Charles River Basin Pedestrian and Bicycle Connectivity Study.</p> <p>4-1-2 Work with developers to create or enhance multi-use connections between development projects (including the Arsenal Mall and athenahealth redevelopment projects) to increase physical and visual access to the Charles River.</p> | <p>Short-term/Planning, Recreation, Bike-Ped</p> <p>Ongoing/Planning</p> |
| <p>4-2 Support making Greenough Boulevard safer for active and passive recreation.</p> <p>Funding: Town, Public-private funding</p> | <p>4-2-1 Implement the Greenough Greenway project.</p> | <p>Short-term/Planning</p> |
| <p>4-3 Increase water-based activities at the Charles River</p> <p>Funding: Town, DCR</p> | <p>4-3-1 Increase canoe and kayak access and explore adding amenities such as rental facilities and storage.</p> | <p>Ongoing/DCR</p> |
| <p>4-4 Improve safety for pedestrians wishing to access the river path in all areas, with special attention to the crossings at Watertown Square.</p> <p>Funding: Town, DCR grant program</p> | <p>4-4-1 Work with DCR to finalize and implement recommendations for the Charles River Basin Pedestrian and Bicycle Connectivity Study.</p> | <p>Short-term/Planning, Recreation</p> |
| <p>4-6 Make Watertown Yacht Club area more accessible to the public.</p> <p>Funding: Public-private funding</p> | <p>4-6-1 Work with Watertown Yacht Club and DCR.</p> | <p>Ongoing/DCR</p> |

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GOAL 5: AGGRESSIVELY SEEK NEW FUNDING SOURCES FOR THE ENHANCEMENT AND MAINTENANCE OF THE TOWN'S OPEN SPACE AND RECREATION RESOURCES.

| Objective | Actions | Year/Department |
|---|---|---|
| 5-1 Increase ability to acquire, preserve and rehabilitate open space and recreational facilities. Funding: Town (if needed) | 5-1-1 Consider adoption of the Community Preservation Act. 5-1-2 Pursue new funding sources such as public/private partnerships while ensuring that the needs of Watertown residents are given priority. | Short & mid-term/Town Council, Planning, Recreation, Conservation Ongoing/Recreation |

GOAL 6: MAKE WATERTOWN FRIENDLIER TO PEDESTRIANS AND BICYCLISTS AND PROMOTE ACTIVE AND HEALTHY LIFESTYLES.

| Objective | Actions | Year/Department |
|--|--|--|
| 6-1 Develop multi-use path connections. Funding: Town, grants | 6-1-1 Complete the Community Path and support other linear path/park development. | Long-term/Planning |
| 6-2 Make sidewalks passable for pedestrians in winter. Funding: Town | 6-2-1 Explore mechanisms to clean sidewalks of snow. | Ongoing/Town Council/DPW Town funding |
| 6-3 Improve difficult street crossings throughout Town. Funding: Town | 6-3-1 Engage Commission on Disabilities in this review. | Ongoing/COD, DPW |
| 6-4 Improve sidewalks throughout the Town. Funding: Town | 6-4-1 Develop a protocol for prioritizing projects and a rationalized system of maintenance. | Ongoing/DPW, COD, Planning |
| 6-5 Do not allow parking on sidewalks. Funding: n/a | 6-5-1 Enforce existing parking regulations | Ongoing/Police, Inspectional Services |
| 6-6 Promote fitness and encourage | 6-6-1 Consider development of a | |

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| Objective | Actions | Year/Department |
|------------------------------------|--|--|
| walking Funding: PARC, Town | multi-use, multi-generational community center, including a swimming pool, to provide a variety of activities throughout the year. | Long-term/Recreation |
| | 6-6-2 Look for ways to better integrate services and programming with the Senior Center and the public schools and facilities, as well as ways to incorporate public health and physical fitness programs. | Ongoing/Recreation, COA, Schools |
| | 6-6-3 Continue developing safe walking paths that connect existing open spaces and parks. New paths should be handicap-accessible and multi-use, serving walkers, runners, bicyclists and wheelchairs. | Ongoing/Recreation, DPW, COD Town funding |
| | 6-6-4 Install bicycle racks at all park facilities. | Mid-term/Recreation Town funding |
| | 6-6-5 Consider river-focused activities to enhance outdoor recreation opportunities. | Mid-term/Recreation |

GOAL 7: IMPROVE THE URBAN FOREST

| Objective | Actions | Year/Department |
|---|---|---------------------|
| 7-1 Increase tree planting on public property. Funding: Town | 7-1-1 Ensure net gain of trees – that those planted exceed those taken down. | Ongoing/Tree Warden |
| | 7-1-2 Continuously update a comprehensive street tree inventory within the Town's GIS.. | Ongoing/Tree Warden |
| | 7-1-3 Establish and advertise a program to encourage private funding of public forests and replanting. | Ongoing/Tree Warden |
| | 7-1-4 Work with organizations such as Trees for Watertown to increase tree plantings on private property. | Ongoing/Tree Warden |

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| Objective | Actions | Year/Department |
|---|---|--|
| 7-2 Minimize harm to trees from road salt. Funding: n/a | 7-2-1 Continue to use snow clearance policies that minimize the use of road salt to the extent possible. | Ongoing/DPW |
| 7-3 Minimize removal of large caliper trees. Funding: n/a | 7-3-1 Explore passing an ordinance that would require public hearings for tree removal over a certain size on private property. | Mid-term/Town Council |
| 7-4 Build sidewalks and curbs in a manner to facilitate tree plantings. Funding: Town | 7-4-1 Evaluate DPW practices and their effect on urban trees. 7-4-2 Develop consistent town policy to encourage tree health. | Ongoing/Tree Warden, DPW Ongoing/Tree Warden, DPW |
| 7-5 Encourage trees on private property. Funding: n/a | 7-5-1 Develop public education program about value of trees | Ongoing/Tree Warden |
| 7-6 Encourage native fauna. Funding: n/a | 7-6-1 Consider wildlife value in town plantings and choose plants accordingly | Ongoing/Conservation. DPW |
| 7-7 Create shaded areas. Funding: Town | 7-7-1 Plant more shade trees in parks. | Ongoing/Recreation, DPW, Planning |
| 7-8 Ensure landscape plans for public space are appropriate to the setting. Funding: n/a | 7-8-1 Tree Warden continue to review and approve all landscape plans for all public projects. | Ongoing/Tree Warden |

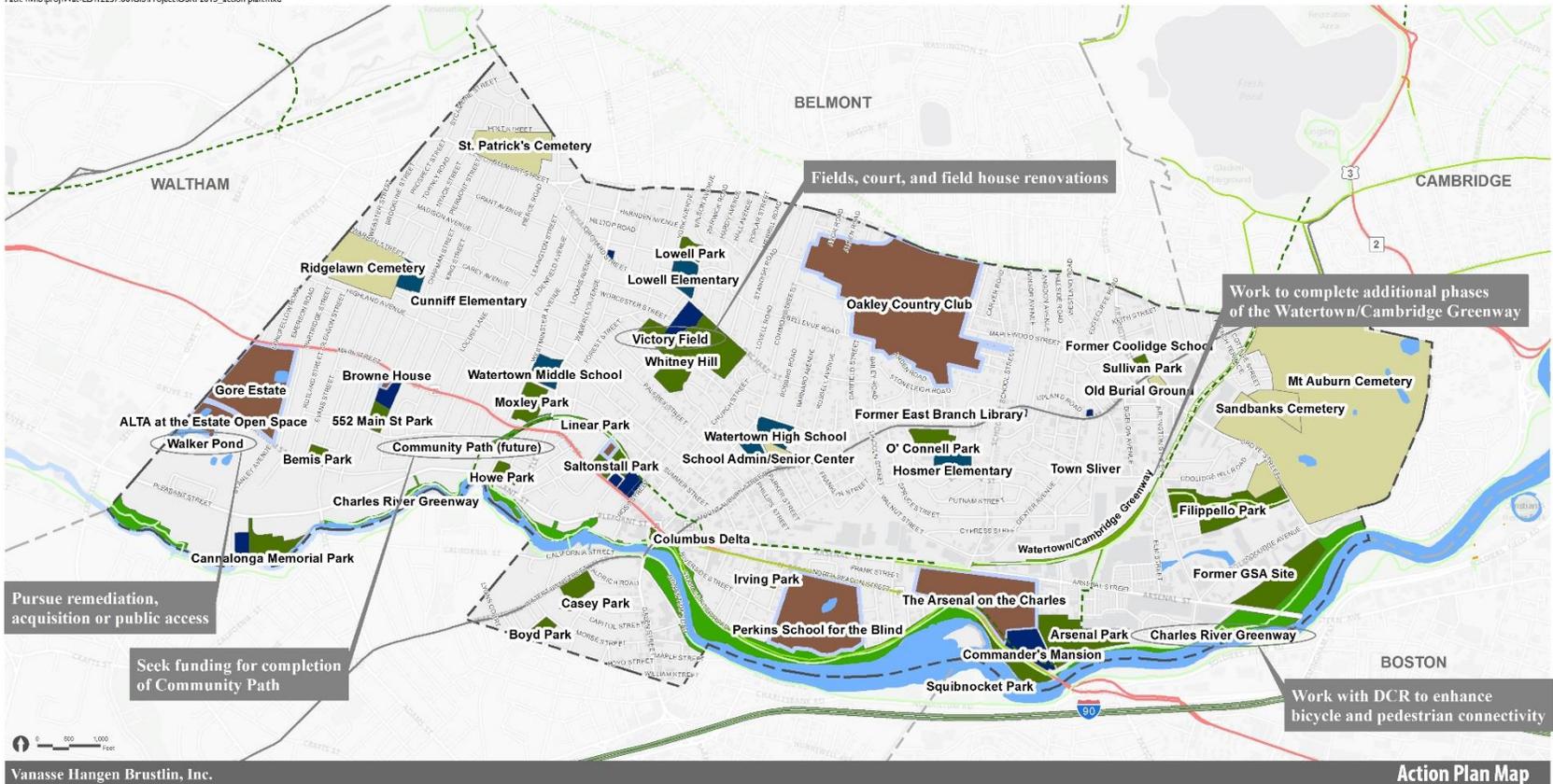
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GOAL 8: IMPROVE OUTREACH AND EDUCATION

| Objective | Actions | Year/Department |
|---|--|--|
| <p>8-1 Improve Charles River path and Town park signage and other wayfinding signage throughout town.</p> <p>Funding: Town, DCR</p> | <p>8-1-1 Ask DCR for additional signage along the Charles River, regarding directional signs, interpretive nature information, distances, park policies and expectations of park users.</p> <p>8-1-2 Ask DCR to add mile markers along the Charles River path.</p> | <p>Short-term/Planning, Conservation</p> <p>Short-term/Planning</p> |
| <p>8-2 Disseminate information about open space and recreation programs on the Town website.</p> <p>Funding: Town</p> | <p>8-2-1 Update website with more information about Watertown’s open space and recreational resources.</p> <p>8-2-2 Prepare improved open space and recreation maps with addresses. Provide bike path and bike lane maps.</p> | <p>Ongoing/Recreation, Conservation</p> <p>Short-term/Recreation</p> |
| <p>8-4 Improve education for dog owners on proper waste disposal techniques.</p> <p>Funding: Town (if needed), volunteer hours</p> | <p>8-4-1 Provide signage or an easily understood and readily available handout. Support creating a ‘Friends’ group for dog parks. Also look at bags for waste disposal.</p> | <p>Ongoing/Health, Town Clerk (licensing)</p> |
| <p>8-4 Communicate with public regarding progress with Plan implementation.</p> <p>Funding: Town (if needed)</p> | <p>8-4-1 Prepare an annual report on progress toward the goals and objectives of this plan and include it in the town’s Annual Report.</p> | <p>Annual/Planning, Recreation, Conservation</p> |
| <p>8-5 Provide improved education and signage for bicyclists, pedestrians and motorists.</p> <p>Funding: Town</p> | <p>8-5-1 Bike Committee to encourage DCR to post signage on bike path.</p> <p>8-6-2 DPW to post “No Biking on Sidewalks” in congested areas</p> <p>8-6-3 Bicycle and Pedestrian Committee to ask bike shops to distribute “Rules of the Road” with bikes sold.</p> | <p>Ongoing/Bike & Ped, DPW</p> |

GOAL 9: IMPROVE SAFETY IN OPEN SPACE AND RECREATION AREAS

| Objective | Actions | Year/Department |
|--|--|------------------------|
| 9-1 Make emergency services accessible to users of open space. Funding: Town, DCR | 9-1-1 Request DCR to install emergency call boxes. | Short-term/Planning |
| 9-2 Make parks safe at night. Funding: Town | 9-2-1 Post signs that note parks are closed at dusk except in parks that have night time lighting. | Short-term/DPW |
| 9-3 Make safe Greenough Boulevard between Arsenal and North Beacon Streets. Funding: Town | 9-3-1 Aggressive police monitoring of open space | Ongoing/Police |
| 9-4 Reduce harmful effects of pesticide use. Funding: Town | 9-4-1- Minimize pesticide applications in all open space areas. | Ongoing/DPW |



Vanasse Hangen Brustlin, Inc.

Action Plan Map

Legend

Open Space by Property Type

- Cemetery
- Park
- Linear
- Conservation
- Municipal Building
- School
- Private

Watertown/Cambridge Greenway

- Proposed
- Complete

Bicycle Facilities

- Bike Lane
- Proposed Bike Lane
- Improved Path
- Proposed Path
- Unimproved Path

Major Routes, by Administrative Type

- Interstate
- U.S. Highway
- State Route

Source: MassGIS
 March 2015
 Open Space and Recreation Plan Update
 Watertown, MA



Figure 15 – Seven-year Action Plan

SECTION 10 - PUBLIC COMMENTS

FINAL APPROVAL LETTER FROM MASSACHUSETTS
EXECUTIVE OFFICE OF ENERGY AND ENVIRONMENTAL
AFFAIRS

LETTER FROM MICHAEL DRISCOLL, WATERTOWN TOWN
MANAGER

LETTER FROM JOHN HAWES, CHAIR, WATERTOWN
PLANNING BOARD

LETTER FROM JOAN BLAUSTEIN, SENIOR REGIONAL
PLANNER, METROPOLITAN AREA PLANNING COUNCIL



The Commonwealth of Massachusetts
Executive Office of Energy and Environmental Affairs
100 Cambridge Street, Suite 900
Boston, MA 02114

Charles D. Baker
GOVERNOR

Karyn E. Polito
LIEUTENANT GOVERNOR

Matthew A. Beaton
SECRETARY

Tel: (617) 626-1000
Fax: (617) 626-1181

May 13, 2015

Renee Guo
VHB
101 Walnut Street
Watertown, MA 02472

Re: Open Space and Recreation Plan

Dear Ms. Guo:

Thank you for submitting Watertown's Open Space and Recreation Plan to this office for review for compliance with the current Open Space and Recreation Plan Requirements. I am pleased to write that the plan is approved. This final approval will allow Watertown to participate in DCS grant rounds through March 2022.

Congratulations on a great job. Please call me at (617) 626-1171 if you have any questions or concerns about the plan.

Sincerely,

A handwritten signature in cursive script that reads "Melissa Cryan".

Melissa Cryan
Grants Manager

cc: Peter Centola, Recreation Department



Michael J. Driscoll
Town Manager

TOWN OF
WATERTOWN
Office of the Town Manager

Administration Building
149 Main Street
Watertown, MA 02472
Phone: 617-972-6465
Fax: 617-972-6404
www.watertown-ma.gov
townmgr@watertown-ma.gov

May 1, 2015

Melissa Cryan
Executive Office of Energy and Environmental Affairs
Division of Conservation Services
100 Cambridge Street, Suite 900
Boston, MA 02114-2524

RE: Watertown's 2015 Open Space and Recreation Plan

Dear Ms. Cryan,

The Town of Watertown is pleased to submit the final draft of the 2015 update of Watertown's Open Space and Recreation Plan (Plan) prepared by the Department of Community Development & Planning and their consultant Vanasse Hangen Brustlin, Inc. with support from the Conservation Commission, Planning Board, and the Recreation Department.

As the Chief Executive Officer of the Town of Watertown, I support the effort that went into development of the 2015 update. The updated content of this plan has been substantially vetted through a unique and engaging combined public process in conjunction with the development of Watertown's Comprehensive Plan. The substantial public input has allowed for a number of exciting open space and recreation initiatives to be identified within the seven-year action plan. The plan will be of particular value in the development of future Capital Improvement Programs.

It is with great pleasure that the Town presents this Plan to the Division of Conservation Services and ask for your favorable consideration in approving the Plan. The Town of Watertown looks forward to collaborating with DCS and the Commonwealth of Massachusetts in accomplishing shared objectives in providing the best open space and recreation opportunities possible for the community.

Sincerely,

Michael J. Driscoll
Town Manager



TOWN OF WATERTOWN
Department of
Community Development and Planning
PLANNING BOARD

Administration Building
149 Main Street
Watertown, MA 02472
Phone: 617-972-6417
Fax: 617-972-6484
www.watertown-ma.gov

Board Members:
John B. Hawes, Jr., Chairman
Linda Tuttle-Barletta
Jeffrey W. Brown
Fergal Brennock
Neal Corbett

April 30, 2015

Melissa Cryan
Executive Office of Energy and Environmental Affairs
Division of Conservation Services
100 Cambridge Street, Suite 900
Boston, MA 02114-2524

RE: Watertown's 2015 Open Space and Recreation Plan

Dear Ms. Cryan:

The Town of Watertown Planning Board is pleased to present this letter in support of the 2015 update of the Watertown Open Space and Recreation Plan (the Plan). Members of the Planning Board participated throughout the public process concurrent with the development of Watertown's Comprehensive Plan. A series of four public forums were held from March 2013 to June 2014, each of which addressed Watertown's open space and recreation resources. The process was very engaging with substantial turnout. To further ensure participation, a very successful online dialogue was developed with thorough media coverage.

The Board is excited by some recent activity. New bicycle trails are being built or planned and recreational opportunities along the Charles River are being enhanced. Watertown is seeing redevelopment that is allowing for the implementation and support of the Watertown Community Path to connect the proposed Watertown-Cambridge Greenway. Together, this east-west route will provide new multi-modal connection to the park network and will also provide a greenway corridor for cyclists and commuters, better linking Watertown to Arlington, Cambridge, and Boston.

The Board finds that the content of this plan was substantially updated through an engaging process that was successful because of the shared process that looked at many issues from different angles and comprehensively. Thank you for your consideration and review of the Plan. The Planning Board is pleased that this important document is complete, and looks forward to implementing its recommendations in concert with Watertown's Comprehensive Plan.

Sincerely,

John Hawes, Chair
Watertown Planning Board



SMART GROWTH AND REGIONAL COLLABORATION

April 17, 2015

Ralph R. Willmer, FAICP
Senior Planner
Vanasse Hangen Brustlin
101 Walnut Street
Watertown, MA 02472

Dear Mr. Willmer:

Thank you for submitting the “Town of Watertown Open Space and Recreation Plan 2015 Update” to the Metropolitan Area Planning Council (MAPC) for review.

The Division of Conservation Services (DCS) requires that all open space plans must be submitted to the regional planning agency for review. This review is advisory and only DCS has the power to approve a municipal open space plan. While DCS reviews open space plans for compliance with their guidelines, MAPC reviews these plans for their attention to regional issues generally and more specifically for consistency with *MetroFuture*, the regional policy plan for the Boston metropolitan area.

MAPC – On page 10 MAPC is incorrectly cited as the Metropolitan Area Planning Commission. We are a Council rather than a Commission.

MetroFuture – We are pleased to see that the Watertown Open Space and Recreation Plan Update includes a discussion of *MetroFuture* as well as the town’s participation in the Inner Core Committee. When discussing consistency with *MetroFuture* the plan cites Implementation Strategy 3 – The adoption of the Community Preservation Act. While this is a key strategy (see below), the Town of Watertown has not adopted the CPA and therefore, this cannot be claimed as being consistent.

Community Preservation Act - Adoption of the Community Preservation Act (CPA) is a key strategy recommended by *MetroFuture*. We note that Watertown has not adopted the CPA but we are encouraged to see that Action Recommendation 5-1-1 is “Consider adoption of the CPA “.

Reforms to the program were passed by the Legislature and signed by the Governor in 2012. These reforms include broadened eligibility of recreational facilities, the option to exempt up to the first \$100,000 of commercial property value from the CPA surcharge, and the ability to use additional municipal revenue to qualify for state matching funds. Additionally, provisions in the last two state budgets have transferred funding to the CPA Trust Fund; \$25 million in the fall of 2013 and \$11.4 million in the Fall of 2014. The current state CPA match is approximately 31%. More detailed information on all of these changes can be found at

<http://www.communitypreservation.org> or by contacting MAPC's Government Affairs staff.

Surrounding communities- In the section on regional context, there should be mention made of the open space planning activities and open space plans of surrounding communities. Connections between those communities and the open space needs and objectives of Watertown should be explored. We encourage all communities to consult with their neighbors concerning their open space plans and initiatives especially since open space parcels and similar resources often occur near municipal boundaries and can be influenced by the actions of neighbors.

Thank you for the opportunity to review this plan.

Sincerely,

A handwritten signature in black ink, appearing to read 'Rebecca Davis', with a long horizontal line extending to the right.

Rebecca Davis
Deputy Director

Cc: Stephen T. Magoon, MAPC Representative, Town of Watertown
Melissa Cryan, Division of Conservation Resources

SECTION 11 - REFERENCES

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- Massachusetts Department of Environmental Protection (DEP). 2013. 314 CMR 4.00 — **Massachusetts Surface Water Quality Standards**. Boston: Commonwealth of Massachusetts Department of Environmental Protection.
- Massachusetts Division of Fisheries and Wildlife (DFW). 2014. **Massachusetts Natural Heritage Atlas**. Westborough, MA: Massachusetts Division of Fisheries and Wildlife.
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- National Recreation and Parks Association, **National Park Recreation and Open Space Standards**. Alexandria, VA, 1983.
- Diane Lauber, Commonwealth of Massachusetts Division of Fisheries and Wildlife, Natural Heritage and Endangered Species Program (letter), Westborough, MA, November 1995.
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Watertown Open Space Plan 2015 - 2022

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Watertown Department of Public Works, **The Recreational Space Conditions and Policy Report**, prepared by Applied Planning Technologies (A.P.T.), Cambridge, MA, 1995.

APPENDIX A

SECTION 504 REPORT (ADA)

SECTION 504 REPORT (ADA)

Part I Administrative Requirements

1. **Designation of the 504 Coordinator**
Please see Exhibit A, letter from the Town Manager designating the Personnel Director as the town of Watertown's 504 Coordinator
2. **Grievance Procedures**
Please see Exhibit B, Town of Watertown' Grievance Procedure for Handicap Compliance
3. **Public Notification Requirements**
Please see Exhibit C, Town of Watertown' Affirmative Action Program
4. **Participation of Individuals with Disabilities or Organizations Representing the Disabled Community**
Please see Exhibit D and E, Town Council resolution creating the Commission on Disabilities, and press release by the Town Manager appointing the Commission members and describing the duties and responsibilities thereof.

Part II Program Accessibility

1. **Transition Plan**
Please see Section 5-Inventory of Lands of Conservation and Recreation Interest, which identifies accessibility status, physical obstacles, and necessary changes for each facility; For more detailed information, please see the study completed for the Town, Watertown Open Space and Recreational Areas; Review for centered design characteristics, by the firm Adaptive Environments. Also please see Section 9-Five Year Action Plan, which provides a schedule for the changes.
1. **Facility Inventory**
Please see Section 5-Inventory of Lands of Conservation and Recreation Interest, which identifies accessibility status for each facility.

Exhibit A



Michael J. Driscoll
Town Manager

TOWN OF WATERTOWN
Office of the Town Manager

Administration Building
149 Main Street
Watertown, MA 02472
Phone: 617-972-6465
Fax: 617-972-6404
www.watertown-ma.gov
townmgr@watertown-ma.gov

March 19, 2008

Melissa Cryan, Grants Manager
Executive Office of Environmental Affairs
Division of Conservation Services
100 Cambridge Street, Suite 900
Boston, MA 02114-2524

Dear Ms. Cryan:

I am writing to inform you that the Town of Watertown's ADA/Section 504 Coordinator is Ms. Gayle Shattuck, Personnel Director.

If you have any questions, please do not hesitate to call Ms. Shattuck at 617-972-6443.

Sincerely,

Michael J. Driscoll
Town Manager

Cc: G. Shattuck, Personnel Director
G. Watson, Director of Community Development & Planning

Exhibit B

5. Discipline and Discharge Grievances

No employee covered by this Agreement shall be disciplined or discharged except for just cause. Before any action affecting the employment or compensation of any employee referred to in the preceding sentence is taken, the employee shall be given a written statement of the specific reason(s) for the contemplated action. No disciplinary penalty (including discharge) in excess of five (5) days shall be imposed until after a hearing before the Town Manager or Personnel Director. The Union has the right to go directly to arbitration for disciplinary cases (including discharge) over five (5) days.

6. Arbitration

A grievance which was not resolved at Step 3 under the Grievance Procedure may be submitted by the Union to arbitration. The arbitration may be initiated by filing with the Town and the American Arbitration Association a request for arbitration. The notice shall be filed within thirty (30) work days after denial of the grievance at Step 3 under the Grievance Procedure. The Voluntary Labor Arbitration Rules of the American Arbitration Association shall apply to the proceeding.

ARTICLE III
NON-DISCRIMINATION

Section A.

The UNION agrees that as the sole and exclusive bargaining agent for all employees in the units described above, and as recognized by the EMPLOYER, it will continue to act, negotiate and bargain collectively for all employees in the units, and shall be responsible for representing the interest of all such employees without discrimination, and without regard to Union membership or participation in Union activities. The UNION further agrees to continue its policy of recognizing that membership in the UNION is voluntary and is open to all employees in the Units without discrimination and without regard to race, color, creed, national origin, age, sex, or marital status.

Section B.

In its employment practices the EMPLOYER agrees to continue its policy of dealing with all persons without discrimination and without regard to race, color, creed, national origin, sex, age or marital status, and without regard to Union membership, participation in union activities or to the assertion by any employee of any rights under this Agreement.

ARTICLE IV
SALARIES

Section A. Wages

Effective July 1, 1994, the salary for all employees covered by this Agreement shall be in accordance with the classification plan and schedule set out in Appendix "A" and Appendix "B" which are attached hereto and incorporated into this Agreement. Such salaries have been increased by 2% effective July 1, 1994, as reflected in the Salary Grid Tables, Appendix "A". The remainder of the

| | | |
|--------------------------------|---------------------------|------|
| wage increases are as follows: | Effective July 1, 1995 | 2.0% |
| | Effective July 1, 1996 | 1.0% |
| | Effective January 1, 1997 | 1.0% |

(see Appendix "A" for Salary Grid Tables)

The Town may hire new employees above Step I in the THA salary grid, but must hire within the grade and step to which the job titles are allocated, and the Town must notify the Union in writing of such hiring.

The Town may establish new titles and job descriptions, but must bargain over the proposed salary after notice to the Union, and the Town may not implement the new title until negotiating requirements are satisfied in accordance with the law.

Part III: Employment Practices

Please see Exhibit C., Town of Watertown Affirmative Action Program, which states the Town's recognition and affirms its legal and moral obligation to provide equal employment opportunity and equal access to all fundamental benefits of employment.

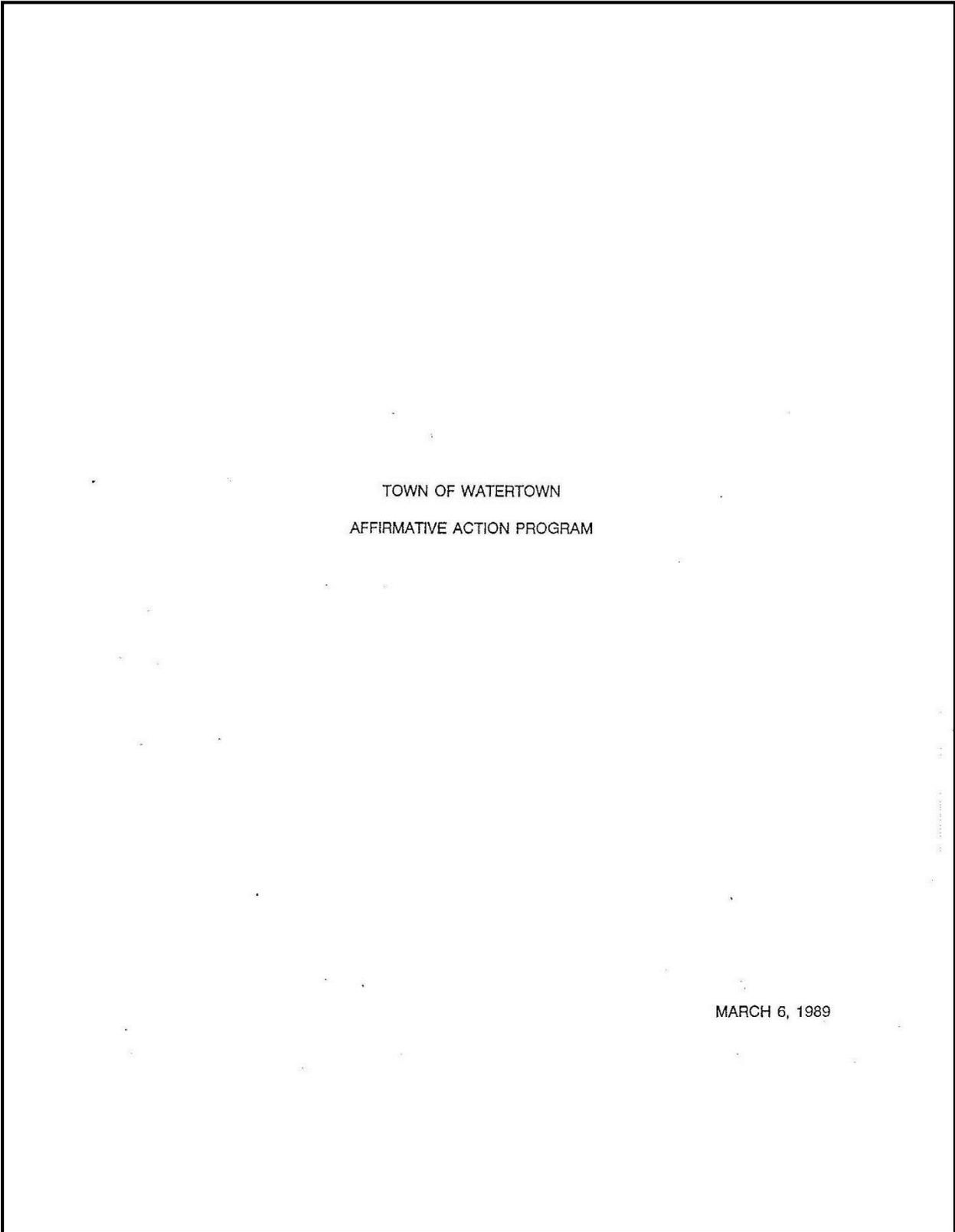
Also, please see Exhibit F. Which is excerpted from the current union contract and is the Non-Discrimination clause, and Exhibit G. Which is a sample format job announcement which includes a nondiscrimination statement.

Continued

Grievance Procedure For Handicap Compliance

- VI. If the complainant is not satisfied with the Grievance Committee actions, within ten working days they may file a formal complaint with the Town Manager.
- VII. Within 10 working days of formal notice of the complaint, the Town Manager will meet to review the complaint. The complainant must be notified of such meeting and may be present with counsel if they so choose.
- VIII. Within 10 working days from the day of review, the Town Manager will either (i) resolve the complaint through reasonable accommodation, (ii) dismiss the complaint as not relevant to the handicapped regulations, or, (iii) adopt plans for needed structural changes to reach compliance. The Complainant, the Grievance Committee, and the Section 504 coordinator must be notified, either in writing or by other appropriate formal notification.
- IX. The decision of the Town Manager shall be final.

Exhibit C



Watertown Open Space Plan 2015 - 2022

TOWN OF WATERTOWN
AFFIRMATIVE ACTION PROGRAM
TABLE OF CONTENTS

PREAMBLE 1
STATEMENT OF POLICY 1
RESPONSIBILITY FOR IMPLEMENTATION 2
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RECRUITMENT 5
SELECTION 6
SCREENING 6
PROMOTION 6
LAYOFFS 6
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GOALS AND TIMETABLES 7
EMPLOYEE UNIONS 7
DEFINITIONS 8

Watertown Open Space Plan 2015 - 2022

PREAMBLE

The Town of Watertown hereby recognizes and affirms its legal obligation to provide equal employment opportunity. The Town as a public entity reaffirms its moral obligation to provide all persons equal access to all fundamental benefits of employment.

It is the policy of the Town of Watertown to hire well qualified people to perform the many tasks necessary to provide quality service to the residents of Watertown at a reasonable cost.

Any employee or personnel practice which inadvertently discriminates against some of our employees or applicants for employment ultimately injures the entire Town of Watertown. The Town's personnel policies and practices have been designed to provide equal opportunity for all persons. All employment decisions, policies and programs have been made and will continue to be made and implemented without regard to an individual's race, color, religion, sex, national origin or age.

The Town's Affirmative Action Program is designed to further its commitment to insure that applicants are employed and that employees are treated without regard to their race, color, religion, sex, age or national origin. This program encompasses all aspects of the employment process. The Town will provide equal employment opportunity for all persons and will recruit and administer hiring, working conditions, benefits and privileges of employment, compensation, training, appointments for advancement including upgrading and promotion, transfer and terminations of advancement including upgrading and promotion, transfers and terminations of employment including layoffs in a non-discriminatory fashion.

The Town will attempt to remedy our employment pattern and vigorously recruit minorities and females. The Town will attempt to contact minorities whose names appear on our civil service lists and actively recruit them for appointment.

A major goal of the Affirmative Action Program is to insure that the Town utilize to the fullest extent possible the valuable resources of its female and minority employees at all levels of municipal government.

STATEMENT OF POLICY

The Town of Watertown will adhere to the provisions of all federal and state laws governing equal opportunity in employment, affirmative action, and non-discrimination in municipal services. Such laws presently include, but are not limited to, Massachusetts General Laws, Chapter 151B; Titles VI and VII of the Civil Rights Act of 1964 as amended, Housing and Community Development Act of 1974 as amended, Age Discrimination in Employment Act of 1967 and Federal Executive Order 11246, as amended. In implementing this policy, the Town intends to comply fully with the letter and the spirit of the law.

The Town will, without regard to circumstances of race, color, religion, sex national origin or age:

- i. Hire persons who are qualified to perform the defined duties and responsibilities of the position to be filled.

Watertown Open Space Plan 2015 - 2022

2. Provide all employees with the privileges and benefits associated with employment.
3. Promote and transfer employees on a non-discriminatory basis.
4. Provide all qualified employees with an equal opportunity to participate in applicable training and development programs.
5. Compensate all employees on the principle of equal pay for equal work.
6. Establish and/or maintain all employee facilities on a non-discriminatory basis.

The Town will not limit, segregate, or classify its employees in any way which would deprive or tend to deprive any individual of opportunities, or adversely affect his or her status as an employee because of such employees race, color, religion, sex, national origin or age.

The Town will not discharge any employee because of his/her race, color, religion, sex, national origin or age.

The Town will continue to administer all personnel activities such as compensation, benefits, transfers, tuition assistance, social and recreational programs, without regard to race, color, religion, national origin, sex, or age.

Affirmative action requires more than vigilance in the elimination of discriminatory barriers on the grounds of race, color, handicap, creed, national origin, national ancestry, age and sex. It must also entail positive and aggressive measures to ensure equal opportunity in internal personnel practices and in those programs which can affect persons outside of town government. This affirmative action shall include efforts necessary to remedy the effects of present and past discriminatory patterns and any action necessary to guarantee equal opportunity for all people.

RESPONSIBILITY FOR IMPLEMENTATION

The Assistant to the Town Manager/Personnel Director shall be responsible for overseeing the execution of the Affirmative Action Program. S/he shall also act as the Town's Equal Employment Opportunity (EEO) Officer. The Personnel Office is located in the first floor of Town Hall. Responsibilities shall include but not be limited to the following:

1. Development and refinement of the Affirmative Action Plan. Dissemination of the policy on equal employment opportunities, both internally and externally.
2. Identification of problem areas and goals established to eliminate trouble spots.
3. Audit of hiring and promotion patterns to insure that goals and objectives are met.
4. Periodic discussions with department heads to insure that policies are understood and are being followed.
5. Periodic review of qualifications of all females and minorities to make certain that female and minority employees are given full opportunities for transfers and promotions.

Exhibit D



Town Council

EXHIBIT D

TOWN OF WATERTOWN

ADMINISTRATION BUILDING • WATERTOWN, MA 02172
(617) 972-6470 • FAX (617) 972-6403

RECEIVED
TOWN CLERK'S OFFICE
129 23 11 29 AM '94

ORDINANCE #94-05

O-94-05

AN ORDINANCE CREATING THE WATERTOWN COMMISSION ON DISABILITY

WHEREAS, the provisions of Section 8J of Chapter 40 of the Massachusetts General Laws allow for the creation of a town Commission on Disability, "to cause the full integration and participation of people with disabilities"; and

WHEREAS, said Section 8J lays out the responsibilities for said Commission, including, but not limited to, research into the local problems affecting persons with disabilities and advice and assistance to municipal officials and employees in ensuring compliance with state and federal laws, rules, and regulations affecting people with disabilities; and

WHEREAS, the City known as the Town of Watertown has been extremely well-served by the Watertown Committee on Disabilities, which has done yeoman service for the entire community of Watertown but has not adopted the provisions of said Section 8J; and

WHEREAS, the adoption of the provisions of said Section 8J would allow for the expansion and extension of the work of said committee, and would enhance the stature of said committee; and

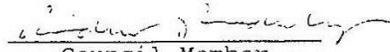
WHEREAS, said adoption would further serve as an additional endorsement by the Town Council of the City known as the Town of Watertown of the goals of said committee and as a statement of commitment by said Council towards the full integration of persons with disabilities into all aspects of the life of the Town.

NOW, THEREFORE, BE IT ORDAINED, that the City known as the Town of Watertown does hereby accept the provisions of Section 8J of Chapter 40 of the General Laws of the Commonwealth of Massachusetts, and form a Commission on Disability subject to said provisions.

Watertown Open Space Plan 2015 - 2022

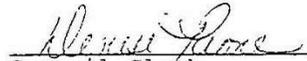
O-94-05

BE IT FURTHER ORDAINED, that the Town Manager shall appoint the members of said Commission as quickly as may be practicable.

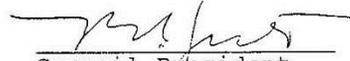


Council Member

I hereby certify that at a regular meeting of the Town Council for which a quorum was present, the above Ordinance was adopted by a vote of 9 for and 0 against on January 25, 1994.



Council Clerk



Council President

Exhibit E

PRESS RELEASE

Town Manager Michael J. Driscoll is pleased to announce the appointment of the nine members to the Watertown Commission on Disability.

The nine members are as follows: Brian Charlson, 57 Grandview Avenue; Harold Craig, 33 Kimball Road; Francis X. Galligan, 14 Grandview Avenue; Albert Gayzagian, 74 Lincoln Street; John Edward Gillis, 465 Arsenal Street #706; Alex Liazos, 11 Parker Street; Laura Oftedahl, 104 Coolidge Hill Road #7; Diane Shepard, 12 Swetts Court; Councillor Marilyn Petitto Devaney, 98 Westminster Avenue.

The Watertown Town Council, by unanimous vote had accepted provisions of Massachusetts General Laws, Chapter 40, Section 8J, to form a "Watertown Commission on Disability." The new Commission on Disability will:

1. Research local concerns experienced by people with disabilities and their families;
2. Advise/assist municipal officials and employees in ensuring compliance with state and federal laws affecting people with disabilities;
3. Coordinate/carry out programs designed to meet the needs of people with disabilities and their families;
4. Assist with the development of policies, procedures, and services affecting people with disabilities and their families;
5. Provide information, referrals, guidance, and technical assistance in all matters pertaining to disability;
6. Help coordinate activities of other local groups organized from similar purposes.

APPENDIX B

MINDMIXER SUMMARY REPORTS



Survey: Recreational Preferences

Question: Which of the following open spaces or park areas in Watertown do you frequent the most?

Charles River Reservation : 28

Victory Field : 15

Filippello Park : 6

Saltonstall Park : 8

Gore Place : 6

Mt. Auburn Cemetery : 20

Arsenal Park : 4

O'Connell Park : 1

Moxley Playground : 5

Sullivan Playground : 0

Bemis Park : 3

Dealtry Pool : 5

John A. Ryan Skating Arena : 0

Other (provide your choice in the comments section) : 5

Question: What do you like about these resources?

Community playgrounds / meeting space : 17

Mixed use areas for walking & playing : 27

Water views and / or access : 27



Peaceful, pleasant, attractive areas : 33

Bird / animal habitats : 21

Playing fields : 10

Aesthetics : 11

Dog-friendly : 10

Other (provide your choice in the comments section) : 2

Comments

Number of Comments 24

Comment 1: It would be nice to have parks with more to *do*, especially if you're over 12--not just a barely landscaped green space or a freestanding single-sport play area. Picnic pavilions, botanical gardens, walking paths, an arboretum, duck or wooden boat ponds, sculptures, sandboxes, swimming pools, maybe a small cafe. Check out the website for Stanley Park in Westfield. We could have a major area attraction.

<http://www.stanleypark.org> | By Steven S

Comment 2: This article could help guide as we envision Watertown into the future

http://www.nytimes.com/2013/08/17/nyregion/widen-main-st-community-had-other-ideas-and-thrived.html?smid=fb-share&_r=0 | By Jean D

Comment 3: Thanks so much for posting that! Great ideas, and inspirational. | By Steven S

Comment 4: I chose these areas because of their proximity to my family homes (not their beauty) but I really love Ars Park and the River Bike trails for their scenery and size. Also, a chance to see wildlife and connect to other places easily and safely on a good long bike ride or run. | By Aaron D

Comment 5: I chose these areas because of their proximity to my family homes (not their beauty) but I really love Ars Pk and the River Bike trails for their scenery and size. I agree with the comments on the bike path connectivity. We have good opportunities for that and it ought to be a priority.



I'd like to see more edible landscaping in these places. There is a demand for local food production and there are multiple benefits to such a thing. Raised beds can protect us from contaminants in the soil so that's not an issue. We ought to invest in fencing and a town-run administration of these sites. It is a great way to bring people out to the parks, also. Using the perimeters won't take away playing space --think about school property, too (grassy area in front of MS, for example).

Lastly, is it crazy to consider our own small tree nursery on one of these quieter sites like Howe Park (for example)? We have a lot of demand for street trees so why not grow them ourselves? | By Aaron D

Comment 6: I chose these areas because of their proximity to my family homes (not their beauty) but I really love the River Bike trails and Arsenal Pk for their scenery and size. I agree with the comments on the bike path connectivity. We have good opportunities for that and it ought to be a priority.

I'd like to see more edible landscaping in these places. There is a demand for local food production and there are multiple benefits to such a thing. Raised beds can protect us from contaminants in the soil so that's not an issue. We ought to invest in fencing and a town-run administration of these sites. It is a great way to bring people out to the parks, also. Using the perimeters won't take away playing space --think about school property, too (grassy area in front of MS, for example).

Lastly, is it crazy to consider our own small tree nursery on one of these quieter sites like Howe Park (for example)? We have a lot of demand for street trees so why not grow them ourselves? | By Aaron D

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Lastly, is it crazy to consider our own small tree nursery on one of these quieter sites like Howe Park (for example)? We have a lot of demand for street trees so why not grow them ourselves? | By Aaron D

Comment 9: As the wife of a former soccer field scheduler, it is very clear that we do not have enough playing fields in Watertown. Soccer is the number one sport that our children play, yet we do not have nearly enough fields for the practices or even the games. I've heard similar complaints from other sports. If we'd like for our children to be healthy, and encourage group sports, we should have venues for these children to take part in these healthy activities. It's a tough balance given that we also need land for economic development.

| By Anna G

Comment 10: I think that there is an opportunity at Fillippo Park to improve the landscaping and produce a really pleasant passive recreational area that connects to Mt Auburn Cemetery, albeit indirectly. This could offer an opportunity for a short bike trail connecting Arlington and Grove Streets. This is already a good place for you kids learning how to ride a bike and that would enhance the experience for them.

Agreed - no more artificial turf. Too much money being spent to appease a small number of supported at public expense.

Add appropriate bulk controls for structures next to recreational spaces. I do not have a problem with density, but what is happening along Pleasant Street is not appropriate. Zone for larger buildings in the Square and along the Arsenal Street area, not adjacent to parks and low rise residential areas. | By Cliff C

Comment 11: A dog park please. | By Andy C

Comment 12: No further artificial turf on any of our fields, natural areas, maintained playing



fields(as many are not maintained). Bike paths. | By Kate C

Comment 13: Whitney Hill Open Space, Lowell School playgrounds and the Charles river walkway. I love that they are not artificial turf and are natural grass that we can play, sit, picnic on. Also the DMC pool in the summer. | By Kate C

Comment 14: connect bike trails with other towns | By Barbara D

Comment 15: A dog park would be lovely | By Courtney P

Comment 16: I also would love to see a real dog park. | By Rob M

Comment 17: I'd love to see a designated dog park in Watertown. | By Meghan P

Comment 18: We have two boys going on 3 and 4 years old. They like the playgrounds. Our preferences will shift as the family matures. | By Gary B

Comment 19: I'd like to see more open-space parks. We also need better access to the riverfront. The view from the California Street side of the river has been destroyed by having a skyline with buildings across the river. The new buildings on Pleasant also block the skyview for houses across Pleasant street. In summary: all over town, please create more open space, protect sky views, and keep buildings low (no more than 3 stories) anywhere near natural areas. Watertown is only 4 sq. miles or so, and should feel like a town, not an overgrown city. | By Rena B

Comment 20: I agree 100% on issue of building siting and scale, particularly along the river and in the town center. Keep the TOWN in Watertown | By Susan S

Comment 21: Also Casey Park

Paths for biking and running | By C P

Comment 22: Shade trees around play areas | By Gideon S

Comment 23: Access for bicycling | By Laura G

Comment 24: kid friendly | By Elaine B



Survey: Enhance Recreational Opportunities

Question: What are your major concerns regarding the Town's recreational and natural open spaces?

Invasive plants : 9

Limits on use : 8

Trash collection : 15

Vandalism / graffiti : 10

Accessibility for disabled : 3

Insufficient playground facilities / athletic fields : 6

Nuisance wildlife : 3

Pruning, clearing, mowing : 18

Dogs (cleanup, disturbance to others) : 5

Overall conditions of fields and equipment : 10

Lack of parking : 6

Connectivity of open spaces / parks : 27

Other (provide your choice in the comments section) : 5

Question: What type of facility does the Town need more of?

Children's playgrounds : 6

Neighborhood parks : 22

Team playing fields : 3

Tennis courts : 3



Dog parks : 17

Outdoor street / ice hockey rink : 4

Basketball courts : 0

Spray parks : 11

Community gardens : 25

Walking / bike trails : 34

Canoeing / kayaking : 22

Picnic areas : 8

Other (provide your choice in the comments section) : 4

Comments

Number of Comments 12

Comment 1: The town of Superior, Colorado does a great job with bike trail connections, even connecting with surrounding communities. Click this link for a PDF of the town's bike trail map: <http://bit.ly/16TyVlb> | By Jessica R

Comment 2: It would be nice to have an area the size of Stanley Park to work with. You make a good point though, that we should look beyond some of the typical recreation/open space uses for our community. | By Steve M

Comment 3: Look at how limited that list is. Are these the only possible uses for green spaces? What about botanical gardens, arboretums, outdoor sculpture or natural history gardens, even games tables? Sorry for also posting this in another thread, but check out all the things you can do with a park at Stanley Park. <http://www.stanleypark.org> | By Steven S

Comment 4: I agree with comments on bike path connectivity. We have good opportunities for that and it ought to be a priority. How about snack/beer shacks at parks, too?

I'd like to see more edible landscaping on town land. There is a demand for local food production and multiple benefits to it. Raised beds can protect us from contaminants in the soil



so that's not an issue. We ought to invest in fencing and a town-run administration of these sites. It is a great way to bring people out to the sites, also. Using the perimeters won't take away playing space --think about all used and unused school and library properties, too (grassy area in front of MS, Phillips P-lot, for example).

Lastly, is it crazy to consider our own small tree nursery on one of these quieter sites like Howe Park (for example)? We have a lot of demand for street trees so why not grow them ourselves?

Love the boating/kayaking ideas but have been wishing I could do it myself so I could make money off it!!! | By Aaron D

Comment 5: I chose these areas because of their proximity to my family homes (not their beauty) but I really love Ars Park and the River Bike trails for their scenery and size. I agree with the comments on the bike path connectivity. We have good opportunities for that and it ought to be a priority.

I'd like to see more edible landscaping in these places. There is a demand for local food production and there are multiple benefits to such a thing. Raised beds can protect us from contaminants in the soil so that's not an issue. We ought to invest in fencing and a town-run administration of these sites. It is a great way to bring people out to the parks, also. Using the perimeters won't take away playing space --think about school property, too (grassy area in front of MS, for example).

Lastly, is it crazy to consider our own small tree nursery on one of these quieter sites like Howe Park (for example)? We have a lot of demand for street trees so why not grow them ourselves? | By Aaron D

Comment 6: I have to add unimaginative design to the list of concerns. I realize that Watertown has limited resources but the playgrounds are dull and uninspiring. They promote only two types of activity - swinging and climbing up, over and down structures. Adding other types of activities would enhance the experience for kids and adults - rope jungle gyms, opportunities to spin, boats and houses that encourage combining imaginative play with physical activity, etc. I'm not a fan of the soft surfaces - they get very hot in full sun, much hotter than wood chips. I suppose this is the result of insurance requirements.

Adding a canoe/kayak rental in the Square would be a good move.

Building a network of on and off street bike routes to connect parks and destinations would allow the public to combine recreation and errands. | By Cliff C

Comment 7: River is very underutilized.



Bike path connectivity of parks would be great | By David S

Comment 8: Some of the maintenance is really sporadic it seems, the Watertown Greenway path has been moved once this year, the grass was 3 feet tall, and they left the path covered with the clippings. There seems to be few if any trash barrels near the bike ways as well. | By Rob M

Comment 9: Playgrounds are great; but the resilient surfaces are beginning to show wear and tear- the playground at Victory Field in particular.

A community boating area where young and old could learn to sail would be great. Community gardens might be nice along the river too. | By Gary B

Comment 10: +1 on the community boating area. It seems like the river is way underutilized and an incredible resource. | By Cass S

Comment 11: Check out www.watertownyachtclub.org | By Todd W

Comment 12: Trash in river and on riverbanks (like the shopping cart in the river under the bridge that's been there for a while). It's hard to keep up with the people who litter, and the volunteer clean up is nice. Just curious if there's more we can do to maintain it? | By C P